

Millcreek City Hall
1330 E Chambers Ave
Millcreek, Utah 84106
millcreekut.gov



Planning & Zoning
(801) 214-2700
planner@millcreekut.gov

LUHO-25-001

Staff Report

Meeting Date: 2/12/2025

Applicant: Steve Scoville

Re: Alter a Non-Compliant Structure

Property Address: 3821 S Arroyo Rd.

Zone: R-1-10

Prepared By: Zack Wendel

REQUEST AND SYNOPSIS

The applicant is seeking approval to alter a non-compliant single-family structure located at 3821 South Arroyo Road. The Applicant is proposing to remove the existing western portion (front) of the existing residence and rebuild a new addition, at roughly the same location as the existing structure. The non-compliance relates to the front yard setback. The required front yard setback is thirty (30) feet, according to the adopted Millcreek Code found in MKZ 19.14 and MKZ 19.71. The northwest corner of the current structure is approximately 2 feet 3 inches into the front yard setback.

The Land Use Hearing Officer may allow for a noncomplying structure to be enlarged pursuant to Millcreek's Nonconforming Uses and Noncomplying Structures (MKZ 19.88.070).

19.88.070 Additions, Enlargements, Moving and Reconstruction of a Structure

1. A noncomplying structure or building occupied by a nonconforming use shall not be added to or enlarged in any manner or moved to another location on the lot or reconstructed at another location on the lot except as provided by subsection B of this section unless such additions and enlargements comply with the regulations and intent of this title.
2. A building occupied by a nonconforming use, or a noncomplying structure may be added to or enlarged or moved to a new location on the lot or reconstructed at a new location on the lot upon a permit authorized by the land use hearing officer, provided that the land use hearing officer shall find:
 - a) The addition to, enlargement of, moving of, or reconstruction of the structure at a new location on the lot is in harmony with one or more of the purposes of this title as stated in

- MKZ 19.02.020, and is in keeping with the intent of this title;
- b) The addition to, enlargement of, moving of, or reconstruction of the structure at a new location of the lot is compatible with existing development within a reasonable distance in terms of height, mass and applicable building envelope requirements, and lot coverage; and
 - c) The addition to, enlargement of, moving of, or reconstruction of the structure at a new location of the lot will not be detrimental to the health, safety and general welfare of persons residing within a reasonable distance of the subject property.
 - d) That the proposed change does not impose any unreasonable burden upon the lands located in the vicinity of the nonconforming use or structure.
3. The Land Use Hearing Officer may impose conditions and limitations upon issuance of a permit for an addition to, enlargement of, moving of, or reconstruction of a structure as necessary to prevent or mitigate adverse effects on other properties in the neighborhood of the subject property, consistent with the standards of this Title.

FINDINGS, CONCLUSIONS, & RECOMMENDATION

Findings:

1. Non-conforming structures may be expanded according to the terms set forth in the land use ordinance. Millcreek Code [§19.88.070](#).
2. According to the Office of the Salt Lake County Recorder, the home appears to have been originally built in 1967.
3. The zoning code of the time the structure was built, required a 30-foot front yard setback (1966 Zoning Ordinance).
4. The property is currently located within the R-1-10 Zone which currently requires a 30-foot front yard setback [MKZ 19.71.030](#).
5. The northwest corner of the existing structure extends about 2'-3" into the front yard setback.
6. It is uncertain as to why the existing northwest corner of the structure extends into the front yard setback.
7. The southwest corner of the existing structure has a deck that extends into the front yard setback by about 8'. This will be removed with the remodel, bringing the southwest corner into compliance.
8. The applicant is seeking to remove the front portion of the existing structure and rebuild it again roughly within the same location.
9. The rest of the scope of work for the remodel will comply with the height and setback requirements set forth by both the R-1-10 Zone and the RCOZ standards and is both compatible and in harmony with the intent of the established requirements as set forth by Millcreek Code [MKZ 19.88.070](#).

Conclusions:

1. The rest of the scope of work for the remodel will comply with the height and setback requirements set forth by both the R-1-10 Zone and the RCOZ standards and is both compatible and in harmony with the intent of the established requirements as set forth by Millcreek Code MKZ 19.88.070.
2. The addition will not be detrimental to the health, safety and general welfare of persons residing within a reasonable distance of the subject property, nor does it impose any unreasonable burden upon the lands located in the vicinity of the nonconforming use or structure and otherwise meets the criteria set forth by Millcreek Code [MKZ 19.88.070](#).

Recommendation:

Based on the findings and conclusions listed above, it is Staff's opinion that the addition will not be detrimental to the health, safety and general welfare of persons residing within a reasonable distance of the subject property, nor does it impose any unreasonable burden upon the lands located in the vicinity of the nonconforming use or structure and otherwise meets the criteria set forth by Millcreek Code MKZ 19.88.070.

SUPPORTING DOCUMENTS

- Letter of Intent
- Plan Set

January 6, 2025
Permit #: 242068

Millcreek Planning and Zoning
1330 East Chambers Avenue
Millcreek, UT 84106
Phone: (801) 214-2700

Subject: The Bramble Renovation

Dear Millcreek Planning and Zoning Department,

As the design team of the proposed renovation project, we are requesting approval to utilize the existing building footprint of the home located at 3821 S Arroyo Road for a comprehensive renovation.

The proposed renovation will remain entirely within the boundaries of the existing footprint, which encroaches upon the defined front setback by approximately three feet. We acknowledge this non-conformance and seek to maintain the existing footprint without expanding the encroachment.

Key elements of the renovation include:

1. Relocation and Reorientation of the Garage:

1. The existing two-car garage, currently situated at street level with a large, street-facing garage door, will be repositioned to the basement level.
2. This adjustment will improve the streetscape by concealing the garage from street sightlines, enhancing the visual appeal of the property and the surrounding neighborhood.

2. Repurposing the Current Garage Space:

1. The portion of the existing building footprint that currently accommodates the garage will be converted into functional living space, specifically a new kitchen and dining room.
2. This change will enhance the usability and livability of the home while adhering to the overall size and scale of the existing footprint.

We believe this renovation will contribute positively to the character of the neighborhood by addressing the visual prominence of the garage while maintaining the overall size of the structure.

Thank you for considering our request. Please let us know if additional materials or clarifications are required for your review.

Sincerely,



ARCFLO
Architecture + Planning
Steve Scoville
Principal

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steve@arcflo.com
www.arcflo.com

BRAMBLE RENOVATION



VICINITY MAP

NOT TO SCALE



PROJECT DIRECTORY

OWNER
JOHN & JOAN BRAMBLE
 3821 SOUTH ARROYO ROAD
 MILLCREEK, UTAH 84106

ARCHITECTURAL DESIGN
ARCFLO
 228 EAST 500 SOUTH, SUITE 101
 SALT LAKE CITY, UTAH 84111

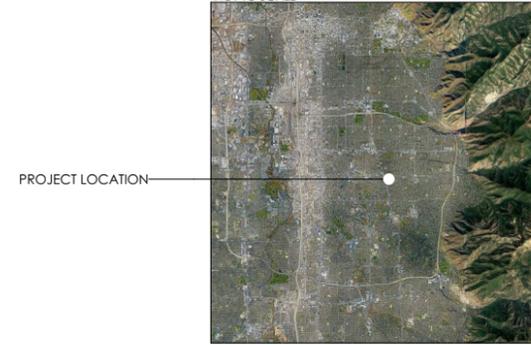
801 320 9773 projects@arcflo.com

STRUCTURAL ENGINEER
RIVERSTONE STRUCTURAL CONCEPTS License No.: 7865844-2203
 Patrick E. Bird, P.E.
 7154 W. State Street, Suite 297
 Boise, ID 83714

208 343 2092 jake@riverstonesc.com

PROJECT LOCATION

NOT TO SCALE



SITE BOUNDARIES

NOT TO SCALE



AD 107

DISCIPLINE DESIGNATORS	SHEET TYPES	SEQUENCE NUMBERS
AG	ARCHITECTURAL GENERAL	V
H	HAZARDOUS MATERIALS	B
AS	ARCHITECTURAL SITE	C
A	ARCHITECTURAL	L
M	MECHANICAL	P
MQ	MECHANICAL EQUIPMENT	F
E	ELECTRICAL	X
EP	ELECTRICAL POWER	O
EQ	ELECTRICAL EQUIPMENT	D
T	TELECOMMUNICATIONS	I
W	DISTRIBUTED ENERGY	S
Z	CONTRACTOR / SHOP DRAWINGS	P
RA	RESOURCE / REFERENCE ARCHITECTURAL	

AD 107

SHEET TYPES	GENERAL: SYMBOL LEGEND, ABBREVIATIONS, GENERAL PLANS
0	GENERAL: SYMBOL LEGEND, ABBREVIATIONS, GENERAL PLANS
1	ELEVATIONS
2	SECTIONS
3	LARGE SCALE DRAWINGS: PLANS, ELEVATIONS, SECTION DETAILS
4	SCHEDULES AND DIAGRAMS
5	USER DEFINED
6	USER DEFINED
7	3D DRAWINGS: ISOMETRIC, PERSPECTIVE, PHOTOS
8	
9	

AD 107

SEQUENCE NUMBERS	ARCHITECTURAL DEMOLITION FLOOR PLAN, SEVENTH S
AD 107	ARCHITECTURAL DEMOLITION FLOOR PLAN, SEVENTH S
P102	PLUMBING FLOOR PLAN, SECOND SHEET
A 204	ARCHITECTURAL ELEVATIONS, FOURTH SHEET
MP501	HVAC PIPING DETAILS, FIRST SHEET

SYMBOL LEGEND:

	SLIDING DOOR
	BI-FOLD DOOR
	DOOR
	POCKET DOOR
	WALL TYPE TAG
	SECTION MARKER
	INTERIOR ELEVATION MARKER
	KEYNOTE
	DETAIL MARKER
	GRID LINE

ABBREVIATIONS:

TYP	TYPICAL
A.F.F.	ABOVE FINISH FLOOR
T.O.W.	TOP OF WALL
B.O.F.	BOTTOM OF FOOTING
E.N.G.	ENGINEERING
B.O.C.	BOTTOM OF CEILING
T.O.C.	TOP OF CEILING
T.O.F.	TOP OF FOOTING
B.O.B.	BOTTOM OF BEAM
V.I.F.	VERIFY IN FIELD
B.O.B.	BOTTOM OF BEAM
T.O.B.	TOP OF BEAM
T.O.D.	TOP OF DECK
MFG	MANUFACTURER SPECIFICATIONS
SPECS	SPECIFICATIONS
STRUC	STRUCTURAL
FD	FLOOR DRAIN
TEMP.	TEMPERED
N.J.C.	NOT IN CONTRACT
SEL.	SELECTED

DEFERRED SUBMITTALS:

- Plumbing Design Engineering & Calculations
- Landscape Architecture & Design
- Fire Alarm System Design
- REScheck
- Electrical Design Engineering & Calculations
- Exhaust Vent Specifications
- Plumbing Fixtures
- Power & Lighting Fixtures
- Water Heater Specifications
- Gas Line Schematic Diagram

AREA SUMMARY:

Existing Residential Structure:		
Story:	Habitable:	Unhabitable:
Level 2	*982 sq. ft.	NA
Level 1	*1,907 sq. ft.	*1,139 sq. ft.
Basement	*1,210 sq. ft.	*63 sq. ft.
Gross Total:	*4,099 sq. ft.	*1,202 sq. ft.

Area of Improvement:		
Story:	Habitable:	Unhabitable:
Level 2	684 sq. ft.	NA
Level 1	1,894 sq. ft.	NA
Basement	NA	NA
Gross Total:	2,578 sq. ft.	NA

Area of Addition:		
Story:	Habitable:	Unhabitable:
Level 2	NA	NA
Level 1	735 sq. ft.	662 sq. ft.
Basement	35 sq. ft.	801 sq. ft.
Gross Total:	770 sq. ft.	1,463 sq. ft.

* Square Footage is Approximate - VERIFY IN FIELD

APPLICABLE CODES:

INTERNATIONAL RESIDENTIAL CODE	2021 IRC
INTERNATIONAL MECHANICAL CODE	2021 IMC
INTERNATIONAL PLUMBING CODE	2021 IPC
NATIONAL ELECTRICAL CODE	2020 NEC
INTERNATIONAL FIRE CODE	2021 IFC

CONTRACTOR NOTES:

- INSTALL ALL ITEMS AS PER MANUFACTURER SPECIFICATIONS
- CONTRACTOR SHALL NOT SEPARATE DRAWING SHEETS FROM SET OF PLANS & SHALL PROVIDE SUBCONTRACTORS CONSTRUCTION DOCUMENTS IN THEIR ENTIRE FORMAT.
- ALL PRINTED PLANS SHALL BE PRINTED TO SCALE AND IN FULL COLOR

PROJECT SUMMARY

Site:
 3821 SOUTH ARROYO ROAD,
 MILLCREEK, UTAH 84106

Authority Having Jurisdiction:
 MILLCREEK

Parcel Number:
 PARCEL 1633403002000

Legal Description:
 LOT 26 EAST FOREST HILLS 8376-1618 8937-5580
 9275-3277

Zone:
 R-1-10 SINGLE-FAMILY RESIDENTIAL DISTRICT

Project Description:
 This project is the new construction of an attached garage, living space & driveway access.

ARCFLO

a visionary design firm

Studio 228
 228 East 500 South, Suite #101
 Salt Lake City, Utah 84111

T 801 320 9773

projects@arcflo.com

CONSULTANT INFO:

PREPARED FOR:

JOHN + JOAN
 BRAMBLE

PROJECT LOCATION:

3821 SOUTH ARROYO
 ROAD

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
 RENOVATION**

PROJECT ID #:

RM-770A-22

ISSUE DATE:

12/12/2024

REVIEWED BY:

INITIALS DATE

REVISIONS:

MARK DATE DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

COVER SHEET

SCALE:

As Noted

SHEET NUMBER:

G 000

FIELD VERIFY ALL MEASUREMENTS

INITIALS	DATE

MARK	DATE	DESCRIPTION

D

C

B

A

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G 001	SHEET INDEX / GENERAL NOTES

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AS 102	ARCHITECTURAL SITE PLAN
AS 103	GRADING + DRAINAGE PLAN

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E 106	POWER & DATA PLAN - BASEMENT

Total Index Sheet Count: 58

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GENERAL NOTES:

1. Construction not specifically indicated shall be accomplished per minimum requirements of the International Residential Code, of 2021 or the latest edition and all other codes as required for the systems constructed in this project. All work shall be completed in accordance with manufacturer recommendations and industry standards, unless more stringent requirements are indicated.

2. CONTRACTOR is to visit site prior to bidding in order to field determine actual site conditions and notify the architect of any discrepancies.

3. Actual site dimensions could vary, the contractor shall verify all dimensions before starting work, and notify the architect immediately of any discrepancies found. These drawings are not to be scaled for construction.

4. If there are any conflicts between items on drawings and general notes or specifications, the most stringent requirement governs.

5. CONTRACTOR and/or building owner shall keep loads on the structure within the limits of the design both during and after construction.

6. CONTRACTOR assumes full liability for any problems that may arise due to potential errors, omissions, and/or conflicts on these plans. Use of these plans for building purposes constitutes compliance with the above terms.

7. CONTRACTOR shall be responsible for the protection of and the safety in and around the job site and of adjacent properties.

8. Compliance with codes and ordinances governing the work shall be made and enforced by the CONTRACTOR.

9. All change orders to be approved in writing prior to construction.

10. GENERAL CONTRACTOR is to coordinate the work of the mechanical, electrical and plumbing systems. Complete all work necessary for systems to function properly.

11. Emergency escape and rescue required. Basements and every sleeping room shall have at least one operable emergency and rescue opening. Such opening shall open directly into a public street, public alley, yard or court. Emergency egress shall be required in each sleeping room of a basement, but not in adjoining areas of the basement. Emergency escape and rescue openings shall have a sill height of not more than 44 inches above the floor.

12. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet shall not require an emergency escape and rescue opening.

13. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet.

14. All emergency escape and rescue openings shall have a minimum net clear opening height of 24 inches.

15. All emergency escape and rescue openings shall have a minimum net clear opening width of 20 inches.

16. Emergency escape and rescue openings shall be operational from inside of the room without the use of keys, tools or special knowledge.

17. Ceiling-suspended fans (paddle) shall be supported independently of an outlet box or by a listed outlet box or outlet box system identified for the use.

18. In damp or wet locations, cabinets and panel boards of the surface type shall be placed or equipped so as to prevent moisture or water from entering and accumulating within the cabinet, and shall be mounted to provide an airspace not less than 1/4 inch between the enclosure and the wall or other supporting surface.

19. Cabinets installed in wet locations shall be weatherproof. For enclosures in wet locations, raceways and cables entering above the level of uninsulated live parts shall be installed with fittings listed for wet locations.

20. Habitable rooms, hallways, corridors, bathrooms, toilet rooms, laundry rooms and basements shall have a ceiling height of not less than 7 feet. The required height shall be measured from the finished floor to the lowest projection from the ceiling.

21. Beams and girders spaced not less than 4 feet on center may project not more than 6 inches below the required ceiling height.

22. Ceilings in basements without habitable spaces may project to within 6 feet, 8 inches of the finished floor; and beams, girders, ducts or other obstructions may project to within 6 feet 4 inches of the finished floor.

23. For rooms with sloped ceilings, at least 50 percent of the required floor area of the room must have a ceiling height of 7 feet and no portion of the required floor area may have a ceiling height less than 5 feet.

24. Bathrooms shall have a minimum ceiling height of 6 feet 8 inches over the fixture and at the front clearance area for fixtures. A shower or tub equipped with a shower head shall have a minimum ceiling height of 6 feet 8 inches above a minimum area 30 inches by 30 inches at the shower head.

25. Flashing shall be located beneath the first course of masonry above finished ground level above the foundation wall or slab and at other points of support, including structural floors, shelf angles and lintels when masonry veneers are designed.

26. Approved corrosion-resistant flashing shall be applied single-fashion in such a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. The flashing shall extend to the surface of the exterior wall finish.

27. Approved corrosion-resistant flashing shall be installed at exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water resistive barrier for subsequent drainage.

28. Approved corrosion-resistant flashing shall be installed at the intersection of chimneys or other masonry construction with frame or stucco walls with projecting lips on both sides under stucco copings.

29. Approved corrosion-resistant flashing shall be installed under and at the ends of masonry, wood or metal copings and sills.

30. Approved corrosion-resistant flashing shall be installed continuously above all projecting wood trim.

31. Approved corrosion-resistant flashing shall be installed where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.

32. Approved corrosion-resistant flashing shall be installed at all wall and roof intersections.

33. Approved corrosion-resistant flashing shall be installed at built-in gutters.

34. Approved corrosion-resistant flashing shall be on an approved corrosion-resistant flashing with a 1/2 inch drip leg extending past the exterior side of the foundation.

35. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or more. The rough framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location. A 30-inch minimum unobstructed headroom in the attic space shall be provided at some point above the access opening.

36. Openings from a private garage directly into a sleeping room shall not be permitted.

37. Openings between the garage and residence shall be equipped with solid wood doors not less than 1-3/8 inches in thickness, solid or honeycomb core steel doors not less than 1-3/8 inches or 20-minute fire-rated doors.

38. The garage shall be separated from the residence and its attic area by not less than 1/2-inch gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms by not less than 5/8-inch type X gypsum board or equivalent. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2-inch gypsum board or equivalent.

39. Garages located less than 3 feet from a dwelling unit on the same lot shall be protected with not less than 1/2-inch gypsum board applied to the interior side of exterior of exterior walls that are within this area. Openings in these walls shall be regulated by section R309.1. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall.

40. Occupancy separations shall be vertical (walls from floor to underside of roof sheathing) or horizontal (ceiling or floor above) or both. Where horizontal, the structural members supporting the separation shall be protected by fire-resistive construction. Nailing shall be 6 inches o.c. for the ceiling and 7 inches o.c. for the walls.

41. Glazing in swinging doors except jalousies shall be tempered.

42. Glazing in fixed and sliding panels of sliding door assemblies and panels in sliding and bifold closet door assemblies shall be tempered.

43. Glazing in all storm doors shall be tempered.

44. Glazing in all swinging doors shall be tempered.

45. Glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers shall be tempered. Glazing in any part of the building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface shall be tempered.

46. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface shall be tempered.

47. Glazing in an exposed area of an individual pane larger than 9 square feet shall be tempered.

48. Glazing where the bottom edge of an individual fixed or operable panel is less than 18 inches above the floor shall be tempered.

49. Glazing where the top edge of an individual fixed or operable panel is more than 36 inches above the floor shall be tempered.

50. Glazing of an individual fixed or operable panel which has one or more walking surfaces within 36 inches horizontally of the glazing shall be tempered.

51. All glazing in railings regardless of an area or height above a walking surface shall be tempered, included are structural baluster panels and nonstructural infill panels.

52. Glazing in walls and fences enclosing indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches horizontally of the water's edge shall be tempered. This shall apply to single glazing and all panes in multiple glazing.

53. Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface when the exposed surface of the glass is less than 60 inches above the plane of the adjacent walking surface shall be tempered.

54. Glazing adjacent to stairways within 60 inches horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glass is less than 60 inches above the nose of the tread shall be tempered.

55. Site built windows shall comply with section 2404 of the International Building Code.

56. The minimum horizontal area of the window well shall be 9 square feet, with a minimum horizontal projection width of 36 inches. The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

57. A ladder shall be allowed to encroach a maximum of 6 inches into the required dimensions of the window well.

58. Window wells with a vertical depth greater than 44 inches shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position.

59. Window well ladders or rungs shall have an inside width of at least 12 inches, shall project at least 3 inches from the wall and shall be spaced not more than 18 inches on center vertically for the full height of the window well.

60. Bulkhead enclosures shall provide direct access to the basement. The bulkhead enclosure with the door panels in the fully open position shall provide the minimum net clear opening required by section R310.1.1.

61. Bars, grilles, covers and screens or similar devices permitted to be placed over emergency escape and rescue openings, bulkhead enclosures, or window wells that serve such openings, provided the minimum net clear opening size complies with section R310.1.1 to R310.1.3, and such devices shall be releasable or removable from the inside without the use of a key, tool or special knowledge or force greater than that which required for normal operation of the escape and rescue opening.

62. Emergency escape windows are allowed to be installed under decks and porches provided the location of the deck allows the emergency escape window to be fully opened and provides a path not less than 36 inches in height to a yard or court.

63. In areas where there has been a history of ice forming along the eaves causing a backup of water, an ice barrier that consists of at least two layers of underlayment cemented together or of a self-adhering polymer modified bitumen sheet, shall be used in lieu of normal underlayment and extend from the lowest edges of all roof surfaces to a point at least 24 inches (610mm) inside the exterior wall line of the building, or ice and water shield.

64. Fixtures that have flood level rims located below the elevation of the next upstream manhole cover of the public sewer serving such fixtures shall be protected from backflow of sewage by installing an approved backwater valve. Fixtures having flood level rims above the elevation of the next upstream manhole shall not discharge through the backwater valve. Backwater valves shall be provided with access.

65. Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches (152 mm) within the first 10 feet (3048 mm). Exception: where lot lines, walls, slopes or other physical barriers prohibit 6 inches (152 mm) of fall within 10 feet (3048 mm), the final grade shall slope away from the foundation at a minimum slope of 5 percent and the water shall be directed to drains or swales to ensure drainage away from the structure. Swales shall be sloped a minimum of 2 percent when located within 10 feet (3048 mm) of the building foundation. Impervious surfaces within 10 feet (3048 mm) of the building foundation shall be sloped a minimum of 2 percent away from the building.

66. Install ALL items per respective industry standards

67. Portions and parts of building assemblies are to be installed as per manufacturer specifications. Contractor shall inform Arcflo of any changes to the design prior to executing and changes in field.

FIELD VERIFY ALL MEASUREMENTS

D

C

B

A

BIMcloud: arcflo - BIMcloud Software as a Service/BRAMBLE RENOVATION/770A-22-BRAMBLE RENOVATION - 03_DD - 2024.12.12
 8:27 AM
 11/15/2021
 RM-770A-22-BRAMBLE RENOVATION - 03_DD - 2024.12.12

SITE TOPOGRAPHIC SURVEY
3821 SOUTH ARROYO ROAD
LOCATED IN THE SE 1/4 SECTION 33
TOWNSHIP 1 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SALT LAKE COUNTY UTAH

PROPERTY DESCRIPTION

PARCEL 16-33-403-002
 ALL OF LOT 26 OF THE EAST FOREST HILLS SUBDIVISION,
 RECORDED IN BOOK "J", OF PLATS PAGE 88, DATED APRIL 10,
 1946 IN THE SALT LAKE COUNTY RECORDER'S OFFICE.

PARCEL 16-33-403-035
 BEGINNING AT A POINT S 89°32'08" E 485.02 FT & S 467.26 FT
 FROM THE CENTER SECTION 33, T1S, R1E, SLB&M; THENCE S
 14°08'20" E 82.22 FT; THENCE S 21.10 FT; THENCE WEST 4.57 FT;
 THENCE N 0°01'14" W 25.98 FT; THENCE N 12°30' W 76.44 FT;
 THENCE N 77°34'37" E 1.06 FT TO THE POINT OF BEGINNING.

SURVEYOR'S NARRATIVE

THIS SURVEY WAS PERFORMED AT REQUEST OF STEVE SCOVILLE
 OF ARCFLO. (OWNER OF RECORD JOAN & JOHN BRAMBLE). THE
 PURPOSE OF THIS SURVEY IS TO DETERMINE THE LOCATION OF
 EXISTING IMPROVEMENTS FOR POSSIBLE SITE DEVELOPMENT.
 AN ADJACENT SURVEY HAS BEEN FOUND STAKED ON THE GROUND
 AND RECORDED. THIS SURVEY (RECORDED PLAT) STATED THAT
 ITS PURPOSE WAS TO LOCATE EXISTING FENCING FOR PROPERTY
 LINE AGREEMENTS TO BE MADE.
 THESE FOUND POINTS FROM THAT PREVIOUS SURVEY ARE SHOWN
 ON THIS TOPOGRAPHIC PLAT.
 BASIS OF BEARING IS DERIVED FROM FOUND MONUMENTS IN THE
 CENTER LINE OF 3900 SOUTH STREET. THE BASIS OF BEARING IS
 SOUTH 89°56'30" WEST 1038.30 FEET, AS PER THE OFFICIAL
 RECORDED SUBDIVISION PLAT AND PREVIOUS RECORDED SURVEYS
 HAVE BEEN UTILIZED TO DETERMINE THE PLACEMENT OF THIS
 PARCEL AND CORRELATE WITH THE MONUMENTS.
 NOTE THAT THE ORIGINAL EAST FOREST HILLS SUBDIVISION
 (1946), UTILIZED THE CENTERLINE OF 3900 SOUTH (BASIS OF
 BEARING).
 THE PLAT SHOWS THE 3900 SO. R/W, WITH A TIE DISTANCE TO
 THE CENTER OF SECTION WHICH CHECKS OVER ROUGH TERRAIN FOR
 0.5' MEASURED IN 1946. THE FOUND MONUMENTS IN 3900
 SOUTH ALIGN WITH THE FOREST BEND INTERSECTION ROADS AND
 THE DISTANCE BETWEEN MONUMENTS CHECK WITH THE FOREST
 BEND SUBDIVISION PLAT. THESE INTERSECTION MONUMENTS HAVE
 BEEN UTILIZED IN SURVEYS OF THE EAST FOREST BEND LOTS.



SURVEY CERTIFICATION

I, RICHARD K. JOHANSON, DO HEREBY CERTIFY THAT I AM A LICENSED
 PROFESSIONAL LAND SURVEYOR, HOLDING CERTIFICATE NO. 152956, AS
 PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH; AND THAT I HAVE
 MADE A SURVEY OF THE TRACT OF LAND AS SHOWN ON THIS PLAT AND
 THAT THIS SURVEY RETRACES DEED LINES AND DOES NOT NECESSARILY
 PURPORT TO HAVE DETERMINED OWNERSHIP OR POSSESSION OF IMPROVEMENTS
 WHICH MAY EXTEND ACROSS DEED LINES.

SIGNATURE: _____
 DATE: _____



24
 OWNER OF RECORD
 EARL, ROBERT D & DANA M
 16-33-403.005

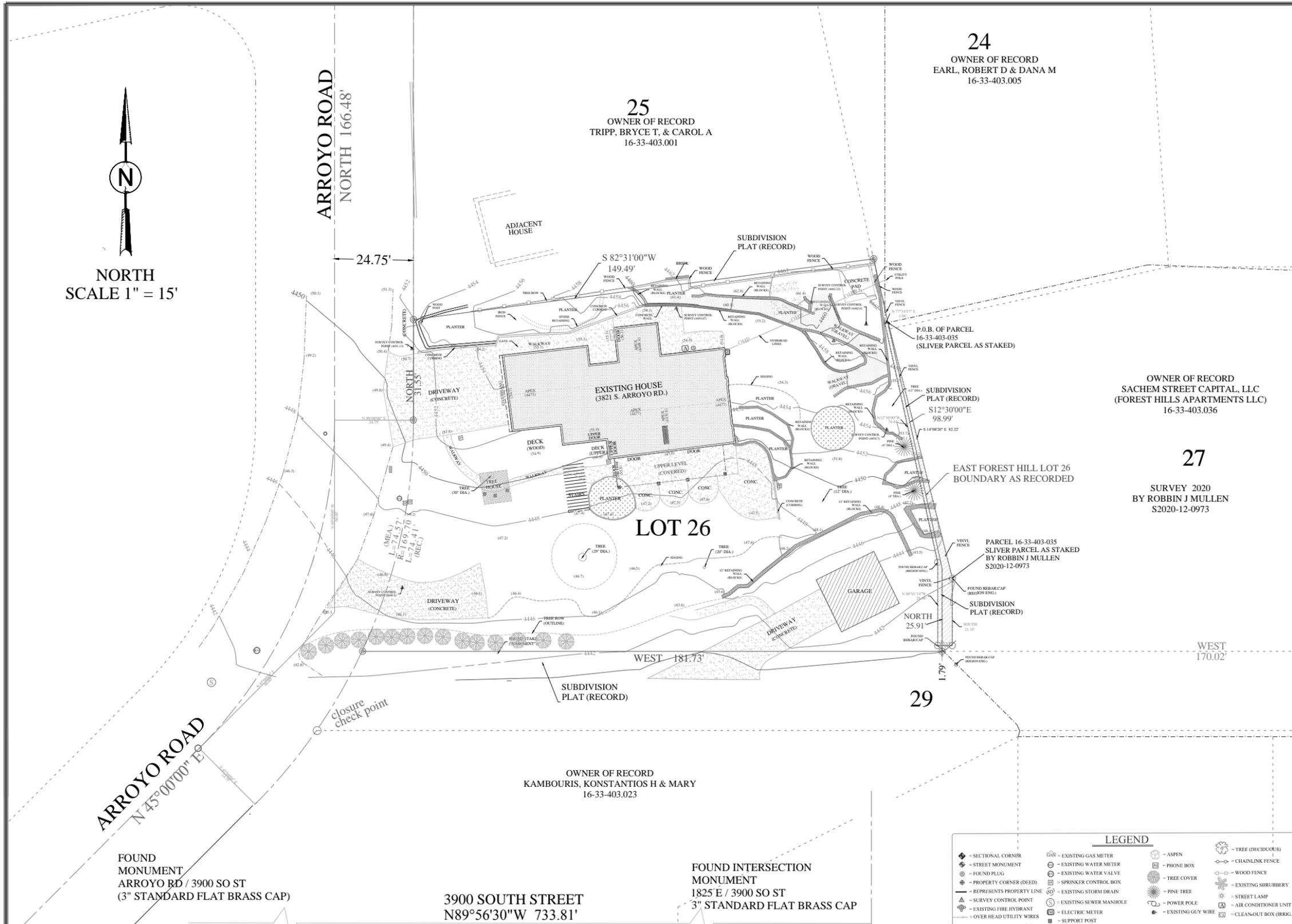
25
 OWNER OF RECORD
 TRIPP, BRYCE T. & CAROL A
 16-33-403.001

OWNER OF RECORD
 SACHEM STREET CAPITAL, LLC
 (FOREST HILLS APARTMENTS LLC)
 16-33-403.036

27
 SURVEY 2020
 BY ROBBIN J MULLEN
 S2020-12-0973

OWNER OF RECORD
 KAMBOURIS, KONSTANTIOS H & MARY
 16-33-403.023

29



NORTH
 SCALE 1" = 15'

FOUND
 MONUMENT
 ARROYO RD / 3900 SO ST
 (3" STANDARD FLAT BRASS CAP)

3900 SOUTH STREET
 N89°56'30"W 733.81'

FOUND INTERSECTION
 MONUMENT
 1825 E / 3900 SO ST
 3" STANDARD FLAT BRASS CAP

LEGEND

◆ SECTIONAL CORNER	⊙ EXISTING GAS METER	⊙ ASPEN	⊙ TREE (DECIDUOUS)
⊙ STREET MONUMENT	⊙ EXISTING WATER METER	⊙ PHONE BOX	⊙ CHAINLINK FENCE
⊙ FOUND PLUG	⊙ EXISTING WATER VALVE	⊙ TREE COVER	⊙ WOOD FENCE
⊙ PROPERTY CORNER (DEED)	⊙ SPRINKLER CONTROL BOX	⊙ PINE TREE	⊙ EXISTING SHRUBBERY
⊙ REPRESENTS PROPERTY LINE	⊙ EXISTING STORM DRAIN	⊙ POWER POLE	⊙ STREET LAMP
⊙ SURVEY CONTROL POINT	⊙ EXISTING SEWER MANHOLE	⊙ EXISTING GUY WIRE	⊙ AIR CONDITIONER UNIT
⊙ EXISTING FIRE HYDRANT	⊙ ELECTRIC METER	⊙ SUPPORT POST	⊙ CLEAN-OUT BOX (BERG)
⊙ OVER HEAD UTILITY WIRES			

TREE DIA'S, HEIGHTS, SPECIES, ARE APPROX.

SCALE:	AS SHOWN
DATE:	DEC.16 2024
DRAWN BY:	R.K.J./CFB
SURVEY BY:	R.K.J.
CHECKED BY:	R.K.J./C.F.B.
JOB #:	R-22-031-B

PROPERTY DESIGN LLC.
"LAND CONSULTANTS"
 P.O. BOX 701168
 SALT LAKE CITY UT 84170
 (801) 955-6339
 (801) 495-2541
 (propertydesignllc@gmail.com)

TOPOGRAPHIC LEGEND

CONTOURS ARE SHOWN AT A 1' CONTOUR INTERVAL AND HIGHLIGHTED AND AT A 2' INTERVAL. THE PROJECT BENCHMARK IS THE TOP OF THE WATER METER NEAR THE FRONT AND SOUTH PORTION OF THE PROPERTY. (4843.6' GPS ASSIGNED).

SURVEY FOR:

3821 SO ARROYO RD
 OWNER OF RECORD
 JOAN & JOHN BRAMBLE

SURVEYOR'S NOTES

A TITLE REPORT MAY PROVIDE INFORMATION CONCERNING EASEMENTS. SURVEYOR MAKES NO WARRANTIES OR GUARANTEES TO THE EXISTENCE OF/OR POSSIBLE EASEMENTS THAT MAY AFFECT PARCELS.

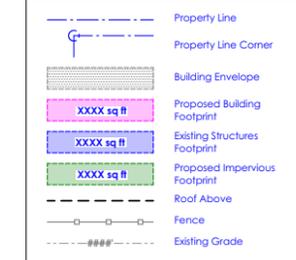
SHEET
 1 OF 1
 PRELIMINARY
 DEC.16 2024

Zoning Site Plan Information

Location:

LOT 26 EAST FOREST HILLS 8376-1618 8937-5580 9275-3277
3821 SOUTH ARROYO ROAD
MILLCREEK, UTAH 84106

Zoning Legend:



Zoning Ordinance Constraint Summary:

Authority Having Jurisdiction:

MILLCREEK

FAULT LINE: NO
LIQUEFACTION: LOW
FLOOD PLANE / ALLUVIAL FAN: NO
HISTORIC STRUCTURE: NO

1- Zoning Classification:

R-1-10: SINGLE-FAMILY RESIDENTIAL
RCOZ: RESIDENTIAL COMPATIBILITY OVERLAY

2- Building Height & Envelope:

R-1-10: Thirty-Five Feet (35') ± 15% Slope
RCOZ: Thirty-Two Feet (32')
Starting at a point on the property line eight feet (8') above grade and then sloping a line forty-five degree (45°) angle toward the center of the lot.

3a- Set-back: Front Yard:

R-1-10 & RCOZ: Thirty Feet (30')

3b- Set-back: Rear Yard:

R-1-10: Thirty Feet (30')
RCOZ: Fifteen Feet (15')

3c- Set-back: Side Yard:

R-1-10: Ten Feet (10') Each Side
RCOZ: Side Yard Setbacks on Lots 50% Larger Than Minimum Lot Width - NA

4- Accessory Building: - NA

5a- Maximum Lot Coverage of Structures:

Maximum Lot Coverage Allowed: 31%
Total Proposed Lot Coverage of Structures:
2,661 S.F. [14.5%]

5b- Maximum Impervious Coverage Allowed:

Maximum Impervious Coverage: NA
Total Proposed Impervious Coverage:
4,525 S.F. [24.7%]

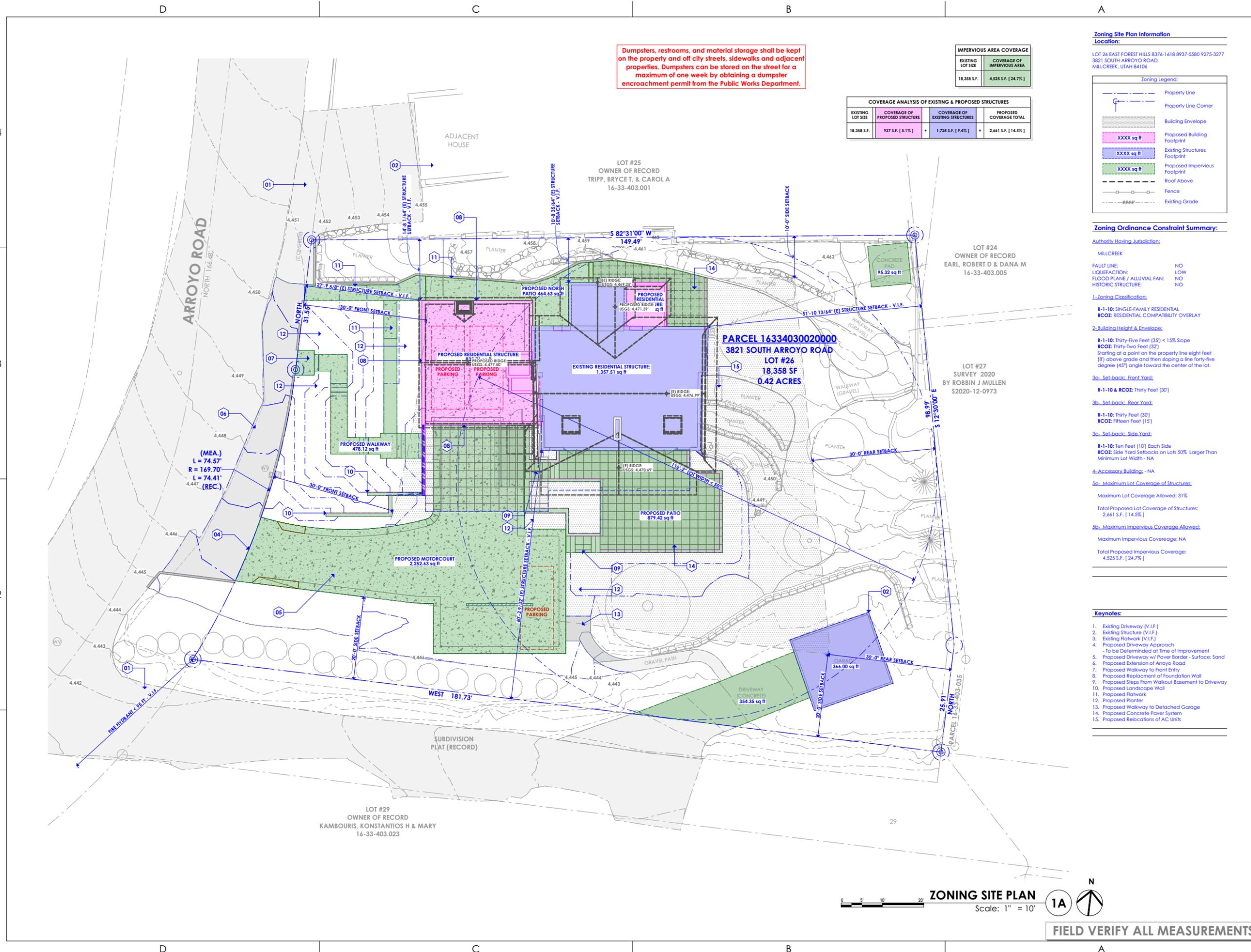
Keynotes:

- Existing Driveway (V.I.F.)
- Existing Structure (V.I.F.)
- Existing Flatwork (V.I.F.)
- Proposed Driveway Approach
To be Determined at Time of Improvement
- Proposed Driveway w/ Paver Border - Surface: Sand
- Proposed Extension of Arroyo Road
- Proposed Walkway to Front Entry
- Proposed Replacement of Foundation Wall
- Proposed Steps from Walkout Basement to Driveway
- Proposed Landscape Wall
- Proposed Flatwork
- Proposed Planter
- Proposed Walkway to Detached Garage
- Proposed Concrete Paver System
- Proposed Relocations of AC Units

IMPERVIOUS AREA COVERAGE	
EXISTING LOT SIZE	COVERAGE OF IMPERVIOUS AREA
18,358 S.F.	4,525 S.F. [24.7%]

COVERAGE ANALYSIS OF EXISTING & PROPOSED STRUCTURES			
EXISTING LOT SIZE	COVERAGE OF PROPOSED STRUCTURE	COVERAGE OF EXISTING STRUCTURES	PROPOSED COVERAGE TOTAL
18,358 S.F.	937 S.F. [5.1%]	1,724 S.F. [9.4%]	2,661 S.F. [14.5%]

Dumpsters, restrooms, and material storage shall be kept on the property and off city streets, sidewalks and adjacent properties. Dumpsters can be stored on the street for a maximum of one week by obtaining a dumpster encroachment permit from the Public Works Department.



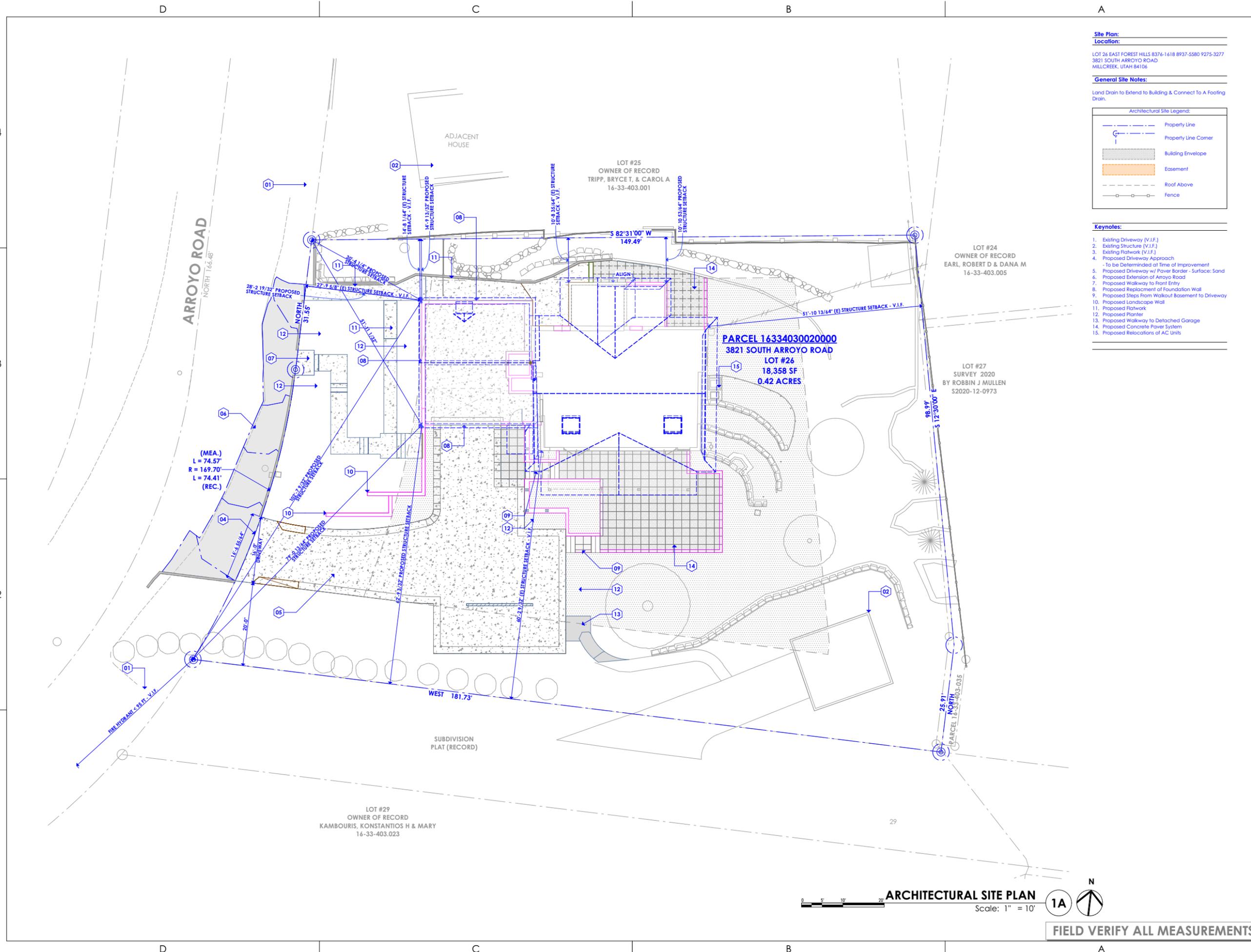
ZONING SITE PLAN

Scale: 1" = 10'

FIELD VERIFY ALL MEASUREMENTS

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Site Plan:
Location:
LOT 26 EAST FOREST HILLS 8376-1618 8937-5580 9275-3277
3821 SOUTH ARROYO ROAD
MILLCREEK, UTAH 84106

General Site Notes:
Land Drain to Extend to Building & Connect To A Footing Drain.

Architectural Site Legend:

- Property Line
- Property Line Corner
- Building Envelope
- Easement
- Roof Above
- Fence

- Keynotes:**
- Existing Driveway (V.I.F.)
 - Existing Structure (V.I.F.)
 - Existing Flatwork (V.I.F.)
 - Proposed Driveway Approach
- To be Determined at Time of Improvement
 - Proposed Driveway w/ Paver Border - Surface: Sand
 - Proposed Extension of Arroyo Road
 - Proposed Walkway to Front Entry
 - Proposed Replacement of Foundation Wall
 - Proposed Steps From Walkout Basement to Driveway
 - Proposed Landscape Wall
 - Proposed Flatwork
 - Proposed Planter
 - Proposed Walkway to Detached Garage
 - Proposed Concrete Paver System
 - Proposed Relocations of AC Units

ARCFLO
a visionary design firm

Studio 228
228 East 500 South, Suite #101
Salt Lake City, Utah 84111

T 801 320 9773
projects@arcflo.com

CONSULTANT INFO:

PREPARED FOR:
JOHN + JOAN BRAMBLE

PROJECT LOCATION:
3821 SOUTH ARROYO ROAD

AUTHORITY HAVING JURISDICTION:
MILLCREEK

ZIP CODE:
84106

PROJECT TITLE:

BRAMBLE RENOVATION

PROJECT ID #:
RM-770A-22

ISSUE DATE:
12/12/2024

REVIEWED BY:
INITIALS | DATE

REVISIONS:
MARK | DATE | DESCRIPTION

PHASE:
DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

ARCHITECTURAL SITE PLAN

SCALE:
As Noted

SHEET NUMBER:

AS 102

ARCHITECTURAL SITE PLAN
Scale: 1" = 10'

1A

N

FIELD VERIFY ALL MEASUREMENTS

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CONSULTANT INFO:

PREPARED FOR:

**JOHN + JOAN
BRAMBLE**

PROJECT LOCATION:

**3821 SOUTH ARROYO
ROAD**

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
RENOVATION**

PROJECT ID #:

RM-770A-22

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12/12/2024

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INITIALS	DATE

REVISIONS:

MARK	DATE	DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

**EXISTING CONDITIONS -
LEVEL 1**

SCALE:

As Noted

SHEET NUMBER:

A 101



EXISTING CONDITIONS - LEVEL 1
Scale: 1/4" = 1'-0"
1A

FIELD VERIFY ALL MEASUREMENTS

Demolition Plan - Level 1

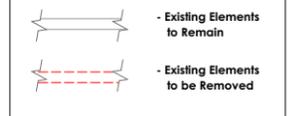
Keynotes:

01. Remove Existing Casework
02. Remove Existing Appliance
03. Remove Existing Plumbing Fixture
04. Remove Existing Stair
05. Remove Existing Window
06. Remove Existing Door
 - Protect & Retain Existing Header (Verify Load Requirements for New Elements with E.O.R.)
07. Remove Existing Wall
 - Shore as per General Demolition Notes and Structural Engineer's Direction
08. Remove Existing Beam
 - Shore as per General Demolition Notes and Structural Engineer's Direction
09. Remove Existing Floor and Floor Structure
10. Remove Existing Decking
11. Remove Existing Guardrails
12. Remove Existing Handrails
13. Remove Existing Stair
14. Remove Existing Tree House Structure & Associated Tree (See Civil Survey for Reference)
15. Protect & Retain Existing Wall (Typ U.N.O.)
16. Protect & Retain Existing Window (Typ U.N.O.)
17. Protect & Retain Existing Bathroom Fixtures / Finishes (Typ U.N.O.)

General Demolition Notes:

1. Unless Otherwise Indicated, Demolished Materials Become Contractor's Property. Remove From Project Site.
2. Items Indicated to be Removed & Salvaged Remains Owner's Property. Remove, Clean & Deliver to Owner's Designated Storage Area.
3. Comply with EPA Regulations & Disposal Regulations of Authorities Having Jurisdiction.
4. If it is Not Expected That Hazardous Materials Will be Encountered in the Work, If Materials Suspected of Containing Hazardous Materials are Encountered, DO NOT Disturb. Immediately Notify Architect & Owner. Hazardous Materials Will be Removed by Owner.
5. Maintain & Protect Existing Utilities to Remain in Service Before Proceeding with Demolition Provided by Past Connections to Other Parts of the Building.
6. Locate, Identify Shut Off Disconnect & Cap Off Utility Services to be Demolished.
7. Conduct Demolition Operations & Remove Debris to Prevent Injury to People to & Site Improvements.
8. Provide & Maintain Shoring Bracing or Structural Support to Preserve Building Stability & Prevent Movement, Settlement or Collapse.
9. Protect Building Structure & Interior From Weather and Water Damage.
10. Protect Walls, Ceilings & Exposed Finishes That are to Remain. Erect & Maintain Dust Partitions. Cover and Protect Fixtures, Furnishings & Equipment That are to Remain.
11. Neatly Cut Openings & Holes. Plumb, Square & True Dimensions Required. Use Cutting Methods Least Likely to Damage Construction to Remain or Adjoining Construction.
12. All Utility Lines not Used Shall be Cut to Floor Level & Capped.
13. General Contractor to Coordinate w/ All Trades for Saw Cutting Existing Concrete for Any Utility Trenching.
14. General Contractor to Coordinate w/ Owner For Any Salvage Items.
15. Unless Otherwise Noted, Dimensions are Shown to Existing Finish Surfaces. Framing Dimensions to be Verified in Field.

Demolition Legend



DEMOLITION PLAN - LEVEL 1

Scale: 1/4" = 1'-0"



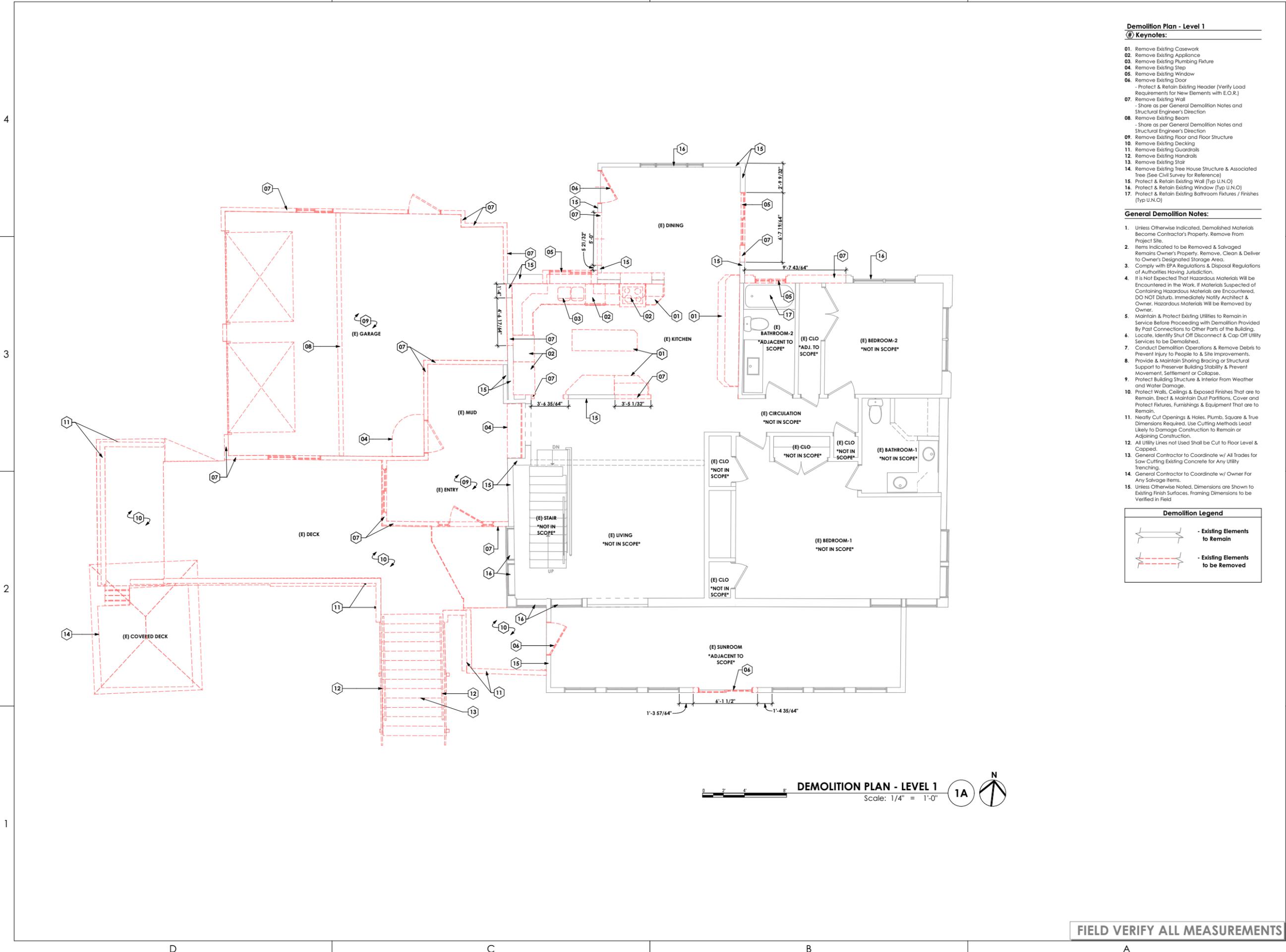
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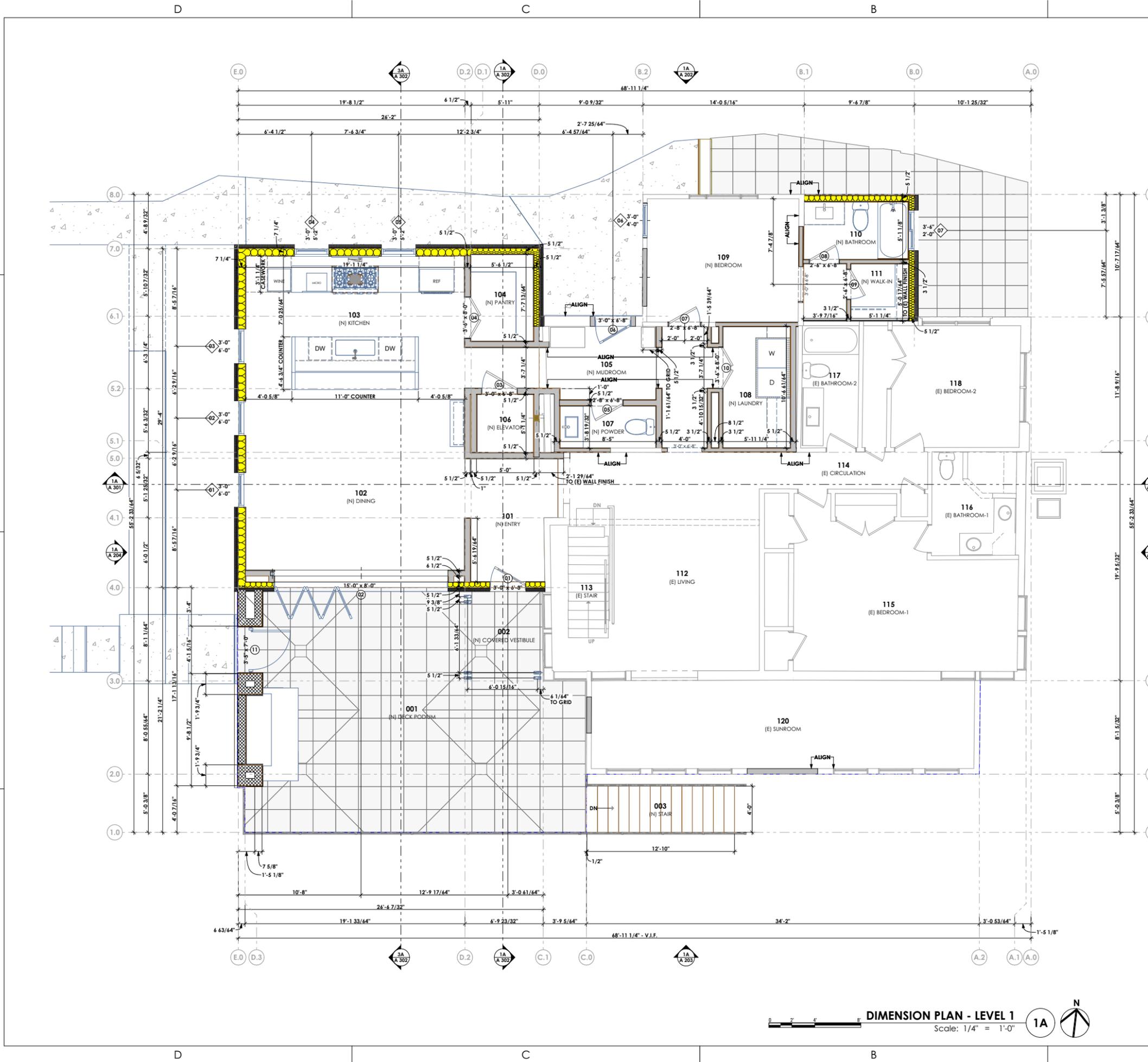


FIELD VERIFY ALL MEASUREMENTS

General Dimension Plan Notes:

1. Framing Contractor to Verify Rough Opening Size for Specified Doors & Windows
2. Verify in Field ALL Dimensions
3. Type "X" gypsum board to be installed as per manufacturer's specification on garage side (include ceiling if condition space above) of the structure to create Fire Separation between the garage and home. R302.6 Dwelling/garage fire separation of IRC.
4. Provide Fire Caulking at All Penetrations through Type "X" Gypsum Board
5. Provide Anti Scald Devices as per IRC Code
6. If a hood (vented to the exterior of the home) is installed over the range, 400cfm or more makeup air is required to be provided. Verify w/ Client & Mechanical Contractor. Exhaust hood systems capable of exhausting in excess of 400 cubic feet per minute (0.19 m³/s) shall be mechanically or naturally provided with makeup air at a rate approximately equal to the exhaust air rate. Such makeup air systems shall be equipped with not less than one damper. Each damper shall be a gravity damper or an electrically operated damper that automatically opens when the exhaust system operates. Dampers shall be accessible for inspection, service, repair and replacement without removing permanent construction or any other ducts not connected to the damper being inspected, serviced, repaired or replaced.
7. Materials used as backers for wall tile in tub and shower areas and wall panels in shower areas shall be of materials listed in Table R702.4.2, and installed in accordance with the manufacturer's recommendations. Approved materials are: Glass mat gypsum backing panel, Fiber-reinforced gypsum panels, nonasbestos fiber cement backer board, nonasbestos fiber mat reinforced cementitious backer units. Usage of cement board in tile / wet areas.

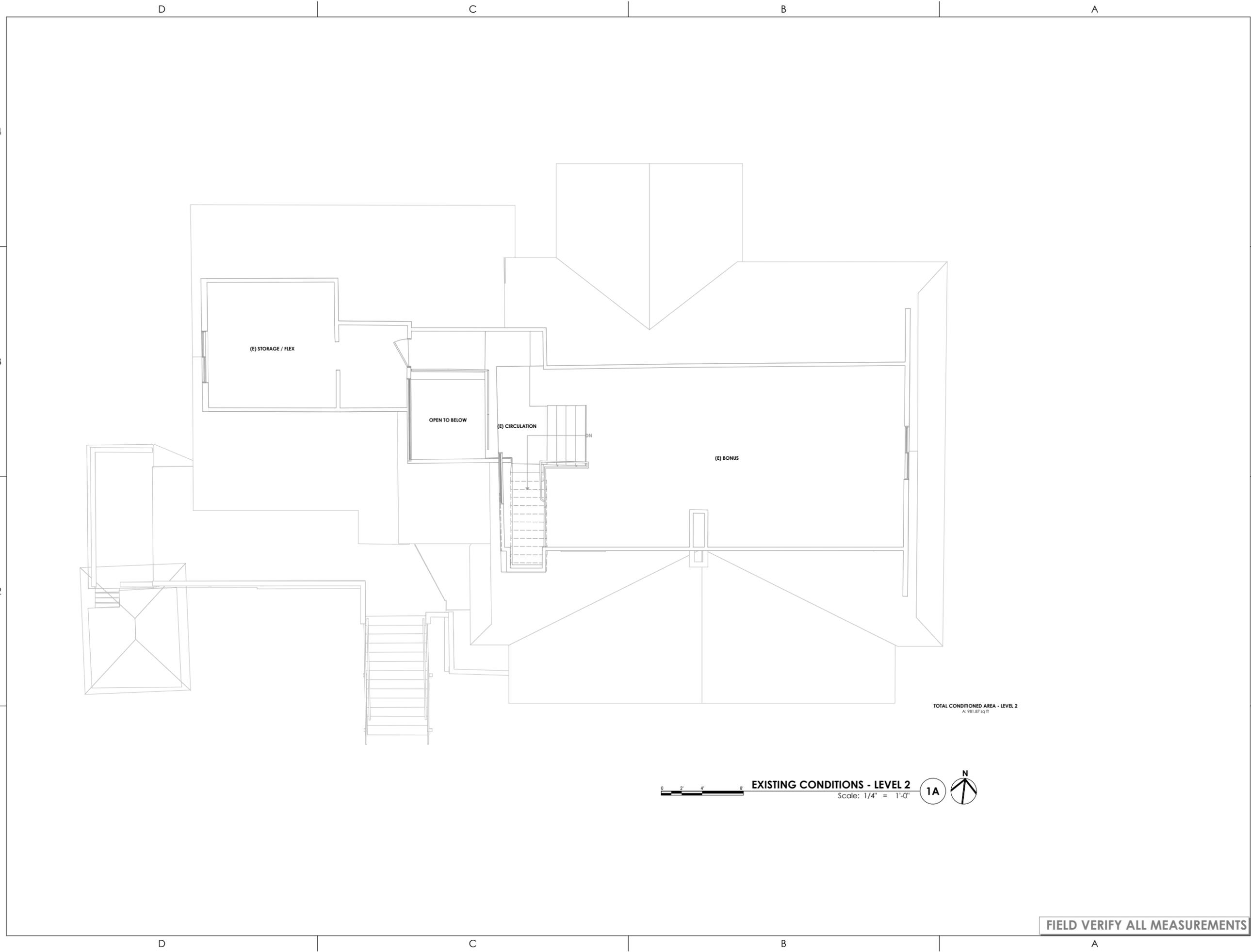
Symbol Legend	
	Door ID# - See Door Schedule
	Window ID# - See Window Schedule



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TOTAL CONDITIONED AREA - LEVEL 2
A: 981.87 sq ft

0 2' 4' 8' **EXISTING CONDITIONS - LEVEL 2** Scale: 1/4" = 1'-0" 1A

FIELD VERIFY ALL MEASUREMENTS

ARCFLO
a visionary design firm
Studio 228
228 East 500 South, Suite #101
Salt Lake City, Utah 84111
T 801 320 9773
projects@arcflo.com

CONSULTANT INFO:

PREPARED FOR:

**JOHN + JOAN
BRAMBLE**

PROJECT LOCATION:

**3821 SOUTH ARROYO
ROAD**

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
RENOVATION**

PROJECT ID #:

RM-770A-22

ISSUE DATE:

12/13/2024

REVIEWED BY:

INITIALS	DATE

REVISIONS:

MARK	DATE	DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

**EXISTING CONDITIONS -
LEVEL 2**

SCALE:

As Noted

SHEET NUMBER:

A 106

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CONSULTANT INFO:

PREPARED FOR:

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BRAMBLE

PROJECT LOCATION:

3821 SOUTH ARROYO
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PROJECT ID #:

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ISSUE DATE:

12/13/2024

REVIEWED BY:

INITIALS DATE

REVISIONS:

MARK DATE DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

DEMOLITION PLAN -
LEVEL 2

SCALE:

As Noted

SHEET NUMBER:

A 107

Demolition Plan - Level 2

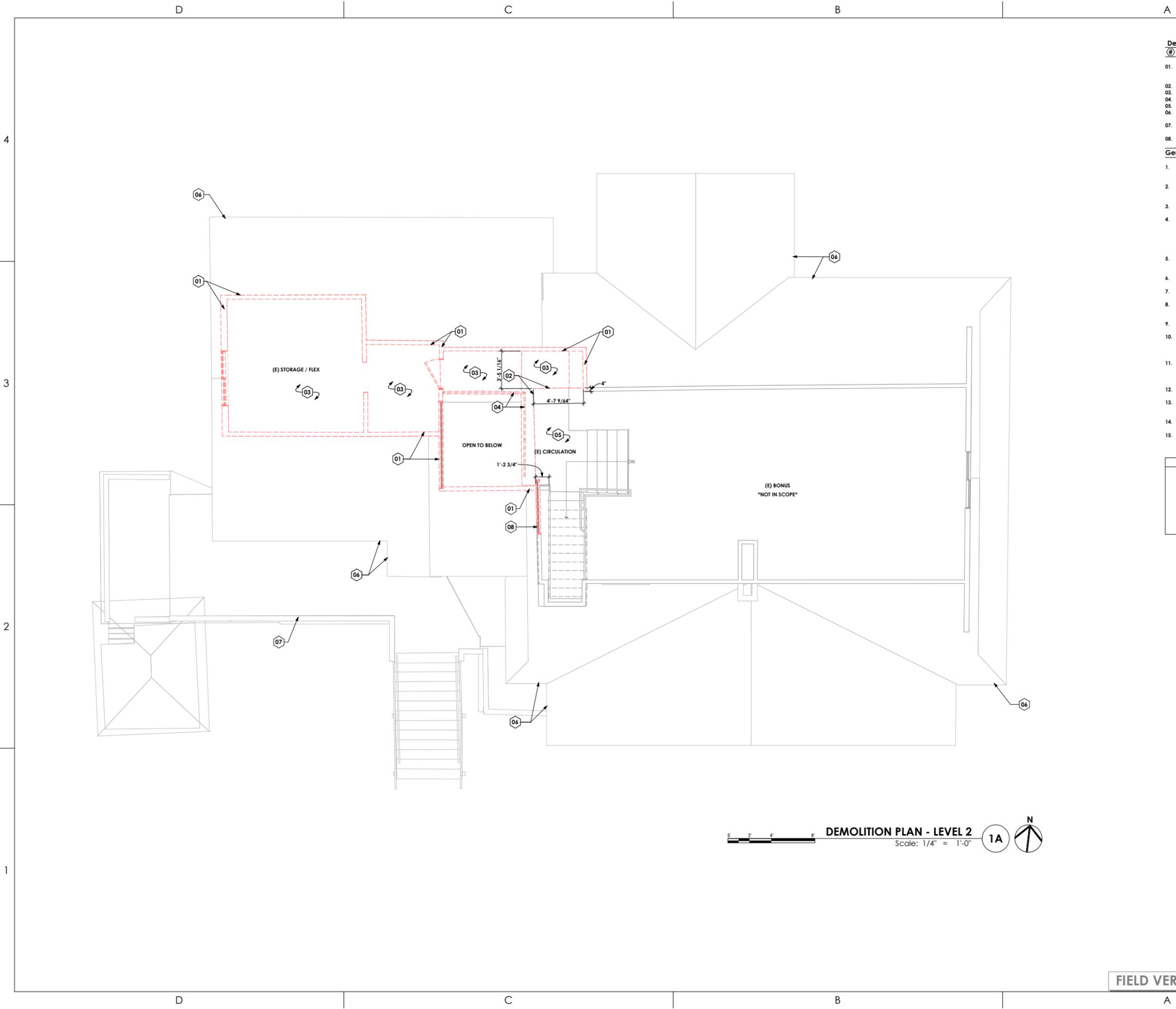
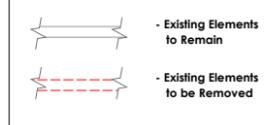
Keynotes:

- 01. Remove Existing Wall
- Shore as per General Demolition Notes and Structural Engineer's Direction
- 02. Limit of Existing Floor to Remain
- 03. Remove Existing Floor and Floor Structure
- 04. Remove Existing Guardrail
- 05. Protect & Retain Existing Floor to Limit as Noted
- 06. (E) Roof
- Shown for Reference - See Roof Demolition Plan
- 07. (E) Deck
- Shown for Reference - See Level 1 Demolition Plan
- 08. Remove Existing Window

General Demolition Notes:

1. Unless Otherwise Indicated, Demolished Materials Become Contractor's Property. Remove From Project Site.
2. Items Indicated to be Removed & Salvaged Remains Owner's Property. Remove, Clean & Deliver to Owner's Designated Storage Area.
3. Comply with EPA Regulations & Disposal Regulations of Authorities Having Jurisdiction.
4. It is Not Expected That Hazardous Materials Will be Encountered in the Work. If Materials Suspected of Containing Hazardous Materials are Encountered, DO NOT Disturb. Immediately Notify Architect & Owner. Hazardous Materials Will be Removed by Owner.
5. Maintain & Protect Existing Utilities to Remain in Service Before Proceeding with Demolition Provided By Past Connections to Other Parts of the Building.
6. Locate, Identify Shut Off Disconnect & Cap Off Utility Services to be Demolished.
7. Conduct Demolition Operations & Remove Debris to Prevent Injury to People to & Site Improvements.
8. Provide & Maintain Shoring Bracing or Structural Support to Preserve Building Stability & Prevent Movement, Settlement or Collapse.
9. Protect Building Structure & Interior From Weather and Water Damage.
10. Protect Walls, Ceilings & Exposed Finishes That are to Remain. Erect & Maintain Dust Partitions, Cover and Protect Fixtures, Furnishings & Equipment That are to Remain.
11. Neatly Cut Openings & Holes. Plumb, Square & True Dimensions Required. Use Cutting Methods Least Likely to Damage Construction to Remain or Adjoining Construction.
12. All Utility Lines not Used Shall be Cut to Floor Level & Capped.
13. General Contractor to Coordinate w/ All Trades for Saw Cutting Existing Concrete for Any Utility Trenching.
14. General Contractor to Coordinate w/ Owner For Any Salvage Items.
15. Unless Otherwise Noted, Dimensions are Shown to Existing Finish Surfaces. Framing Dimensions to be Verified in Field

Demolition Legend



DEMOLITION PLAN - LEVEL 2

Scale: 1/4" = 1'-0"

1A

FIELD VERIFY ALL MEASUREMENTS

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CONSULTANT INFO:

PREPARED FOR:

**JOHN + JOAN
BRAMBLE**

PROJECT LOCATION:

**3821 SOUTH ARROYO
ROAD**

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
RENOVATION**

PROJECT ID #:

RM-770A-22

ISSUE DATE:

12/12/2024

REVIEWED BY:

INITIALS	DATE

REVISIONS:

MARK	DATE	DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

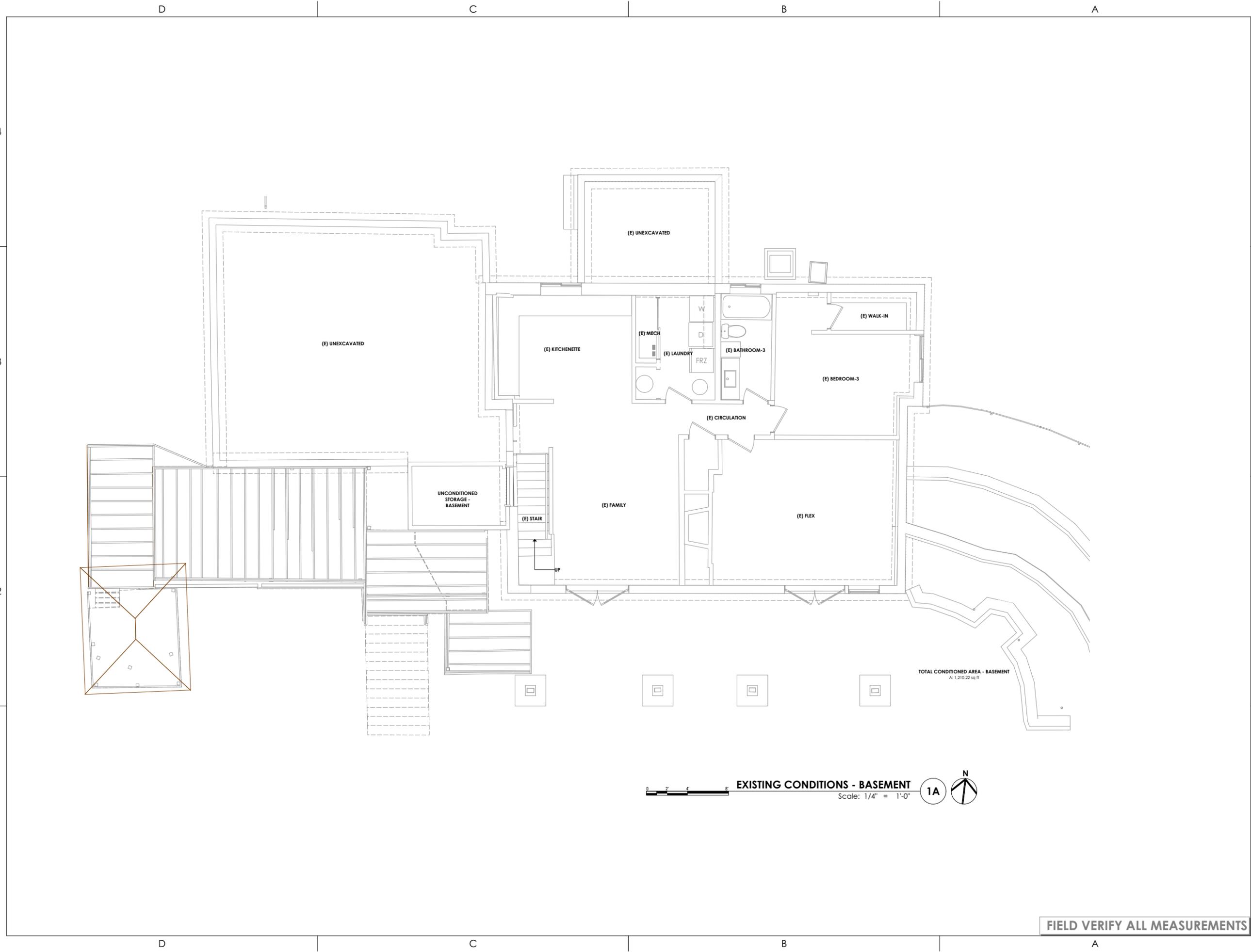
**EXISTING CONDITIONS -
BASEMENT**

SCALE:

As Noted

SHEET NUMBER:

A 111



EXISTING CONDITIONS - BASEMENT
Scale: 1/4" = 1'-0"
1A

FIELD VERIFY ALL MEASUREMENTS

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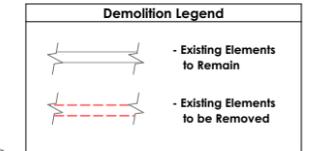
CONSULTANT INFO:

Demolition Plan - Basement
Keynotes:

- 01. Remove Existing Window at Foundation Wall - Protect and Retain Existing Header/Lintel - New Fill and Waterproofing as Selected by Architect
- 02. Remove Existing Foundation Wall - Shore as per General Demolition Notes and Structural Engineer's Direction
- 03. Remove Existing Steps
- 04. Remove Existing Footing (Presumed - V.I.F.)
- 05. Remove Existing Framed Wall - Shore as per General Demolition Notes and Structural Engineer's Direction
- 06. Remove Existing Decking
- 07. Remove Existing Stair
- 08. Remove Existing Tree House Structure and Associated Tree (See Civil Survey for Reference)
- 09. (E) Column - Protect & Retain (Not in Scope)
- 10. (E) Retaining Wall - Protect & Retain (Not in Scope)

General Demolition Notes:

- 1. Unless Otherwise Indicated, Demolished Materials Become Contractor's Property. Remove From Project Site.
- 2. Items Indicated to be Removed & Salvaged Remains Owner's Property. Remove, Clean & Deliver to Owner's Designated Storage Area.
- 3. Comply with EPA Regulations & Disposal Regulations of Authorities Having Jurisdiction.
- 4. It is Not Expected That Hazardous Materials Will be Encountered in the Work. If Materials Suspected of Containing Hazardous Materials are Encountered, DO NOT Disturb. Immediately Notify Architect & Owner. Hazardous Materials Will be Removed by Owner.
- 5. Maintain & Protect Existing Utilities to Remain in Service Before Proceeding with Demolition Provided By Past Connections to Other Parts of the Building.
- 6. Locate, Identify Shut Off Disconnect & Cap Off Utility Services to be Demolished.
- 7. Conduct Demolition Operations & Remove Debris to Prevent Injury to People to & Site Improvements.
- 8. Provide & Maintain Shoring Bracing or Structural Support to Preserve Building Stability & Prevent Movement, Settlement or Collapse.
- 9. Protect Building Structure & Interior from Weather and Water Damage.
- 10. Protect Walls, Ceilings & Exposed Finishes That are to Remain. Erect & Maintain Dust Partitions, Cover and Protect Features, Furnishings & Equipment That are to Remain.
- 11. Neatly Cut Openings & Holes. Plumb, Square & True Dimensions Required. Use Cutting Methods Least Likely to Damage Construction to Remain or Adjoining Construction.
- 12. All Utility Lines not Used Shall be Cut to Floor Level & Capped.
- 13. General Contractor to Coordinate w/ All Trades for Saw Cutting Existing Concrete for Any Utility Trenching.
- 14. General Contractor to Coordinate w/ Owner For Any Salvage Items.
- 15. Unless Otherwise Noted, Dimensions are Shown to Existing Finish Surfaces. Framing Dimensions to be Verified in Field.



PREPARED FOR:

**JOHN + JOAN
 BRAMBLE**

PROJECT LOCATION:

**3821 SOUTH ARROYO
 ROAD**

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
 RENOVATION**

PROJECT ID #:

RM-770A-22

ISSUE DATE:

12/12/2024

REVIEWED BY:

INITIALS DATE

REVISIONS:

MARK DATE DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

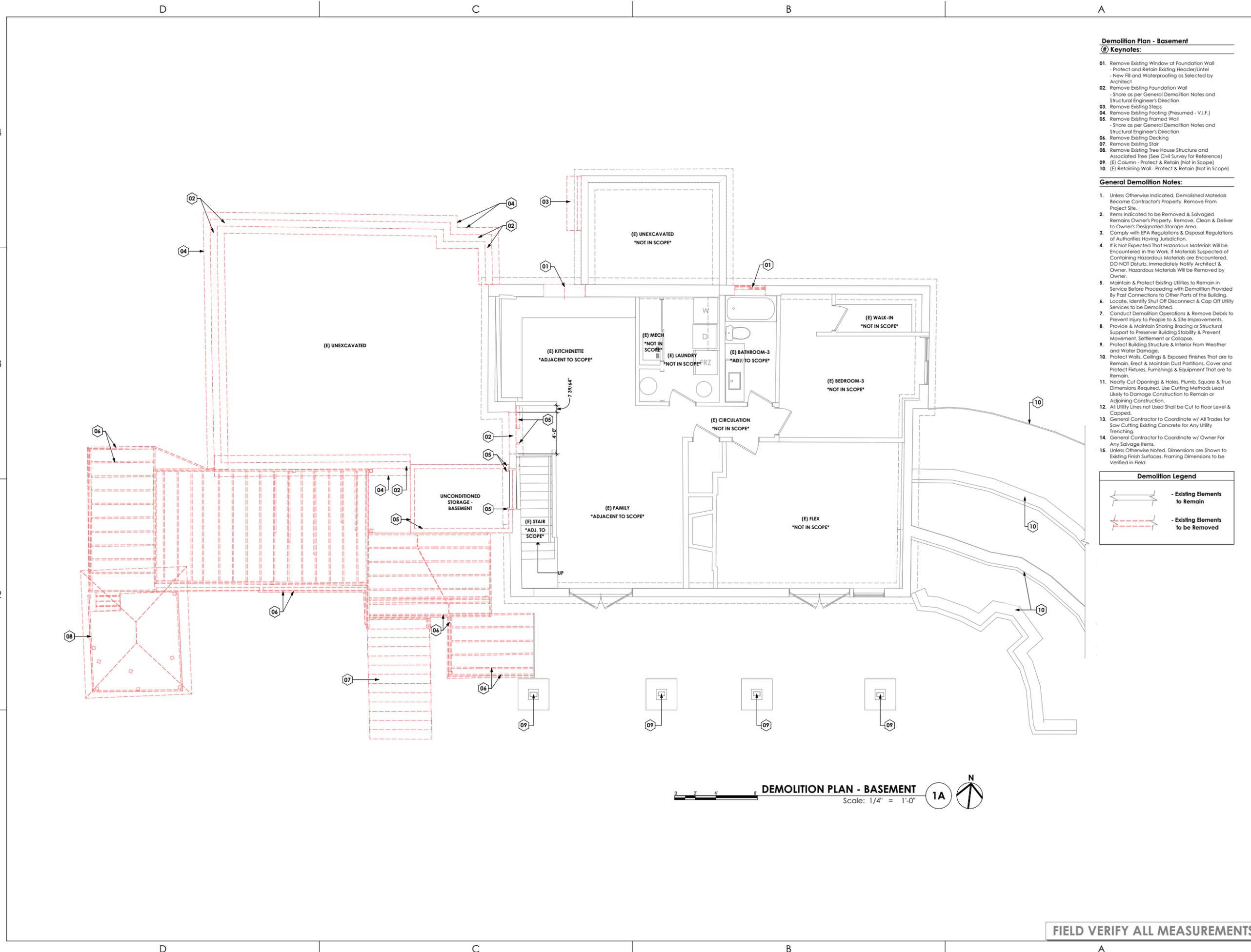
**DEMOLITION PLAN -
 BASEMENT**

SCALE:

As Noted

SHEET NUMBER:

A 112



DEMOLITION PLAN - BASEMENT
 Scale: 1/4" = 1'-0"
1A

FIELD VERIFY ALL MEASUREMENTS

CONSULTANT INFO:

PREPARED FOR:

**JOHN + JOAN
BRAMBLE**

PROJECT LOCATION:

**3821 SOUTH ARROYO
ROAD**

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SHEET TITLE:

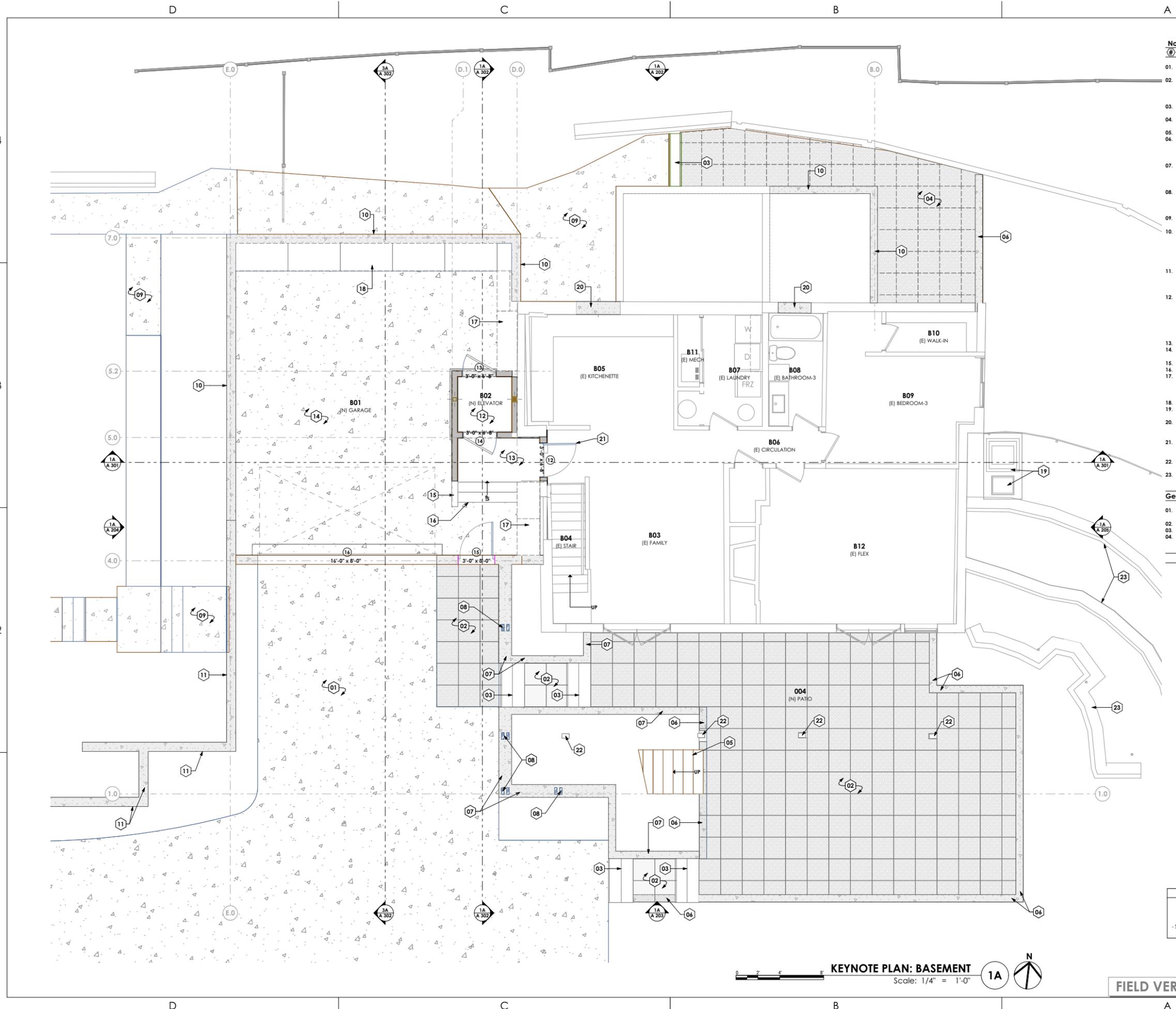
**NOTED PLAN -
BASEMENT**

SCALE:

As Noted

SHEET NUMBER:

A 115



Noted Plan - Basement

Keynotes:

- 01. (N) Concrete Driveway
- See Architectural Site Plan
- 02. (N) Patio Pavers by TILE TECH or Equiv., Over Pedestals and Sloped Drainage Substrate
- See Paver Details
- Install as per MFG's Specs
- 03. (N) Concrete Steps
- See Architectural Site Plan
- 04. (N) Patio Pavers Above (Shown for Reference - See Level 1 Plan)
- 05. (N) Metal Stair (NO Pan Treads)
- 06. (N) Concrete Stem Wall Under Patio Pavers
- See Paver Details
- Provide Break Metal Flashing at Front Face of Wall and Exposed Edge of Pavers as per Details
- 07. (N) Concrete Planter Wall
- Provide Visible Cone Tie Holes and Chamfered Form Joints Above Grade as per Exterior Elevations
- See Structural Engineering
- 08. (N) Steel Column Assembly
- See Structural Engineering and Exterior Elevations
- Provide Black TNEMEC Coating (TYP. at All Exposed Steel Members and Piping)
- 09. (N) Flatwork Above (Shown for Reference - See Level 1 Plan)
- 10. (N) Concrete Foundation Wall
- Provide Visible Cone Tie Holes and Chamfered Form Joints Above Grade and at Visible Interior of Garage as per Exterior Elevations
- See Structural Engineering
- Waterproofing as Selected by Architect (TYP)
- 11. (N) Concrete Retaining Wall
- Provide Visible Cone Tie Holes and Chamfered Form Joints Above Grade as per Exterior Elevations
- See Structural Engineering
- 12. (N) Elevator Hoistway
- Hoistway Beam, Elevator Car, Elevator Equipment, and Finishes to be Coordinated with Architect, Structural Engineer, Contractor, and Owner
- Hoistway Pit Depth to be Verified with Elevator MFG's Specs
- See Structural Engineering
- 13. (N) Concrete Landing Slab
- 14. (N) Sloped Concrete Garage Floor Slab
- See Building Sections
- 15. (N) Partial-Height Framed Guard Wall at Steps
- 16. (N) Steps to Garage Landing
- 17. (N) Casework Over Shelf Foundation, at Existing Footing (Presumed)
- Casework as Selected by Owner
- See Structural Engineering
- 18. (N) Casework - As Selected by Owner
- 19. (E) Air Condensers/ HVAC Equipment
- Shown for Reference (Not in Scope)
- 20. (N) Concrete Fill of Removed Fenestration
- Provide Dampproofing at Exterior Side of Wall Fill as Selected by Architect
- 21. (N) Self-Closing Fire-Rated Door at Garage Entrance as per Applicable Code
- See Door Schedule
- 22. (E) Column
- Protect & Retain
- 23. (E) Retaining Wall
- Shown for Reference (Not in Scope)

General Notes:

- 01. Framing Contractor to Verify Rough Opening Size for Specified Doors & Windows
- 02. Verify in Field ALL Dimensions
- 03. Provide Anti Scald Devices as per IRC Code
- 04. Provide Fire Caulking at All Penetrations Through type "X" Gypsum Board

Symbol Legend	
Door ID# - See Door Schedule	Window ID# - See Window Schedule

KEYNOTE PLAN: BASEMENT
Scale: 1/4" = 1'-0"



FIELD VERIFY ALL MEASUREMENTS

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ARCFLO

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Studio 228
228 East 500 South, Suite #101
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CONSULTANT INFO:

PREPARED FOR:

**JOHN + JOAN
BRAMBLE**

PROJECT LOCATION:

**3821 SOUTH ARROYO
ROAD**

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
RENOVATION**

PROJECT ID #:

RM-770A-22

ISSUE DATE:

12/12/2024

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INITIALS DATE

REVISIONS:

MARK DATE DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

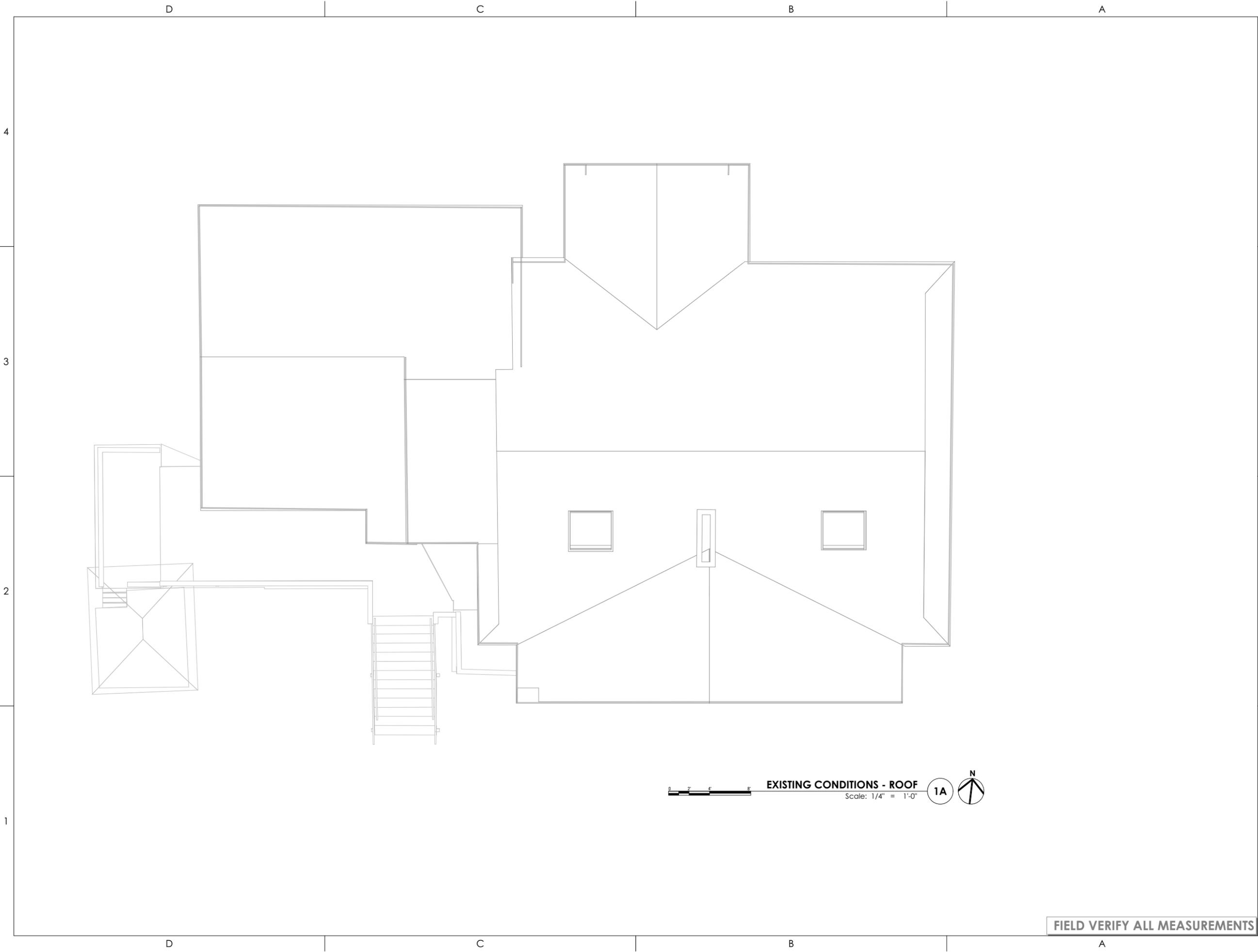
**EXISTING CONDITIONS -
ROOF**

SCALE:

As Noted

SHEET NUMBER:

A 116



EXISTING CONDITIONS - ROOF

Scale: 1/4" = 1'-0"

1A



FIELD VERIFY ALL MEASUREMENTS

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RM-770A-22_BRAMBLE_RENOVATION - 01_PD_2024.12.12.plt

CONSULTANT INFO:

PREPARED FOR:

**JOHN + JOAN
BRAMBLE**

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ROAD**

AUTHORITY HAVING JURISDICTION:

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PROJECT TITLE:

**BRAMBLE
RENOVATION**

PROJECT ID #:

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12/12/2024

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INITIALS	DATE

REVISIONS:

MARK	DATE	DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

**DEMOLITION PLAN -
ROOF**

SCALE:

As Noted

SHEET NUMBER:

A 117

Demolition Plan - Roof

Keynotes:

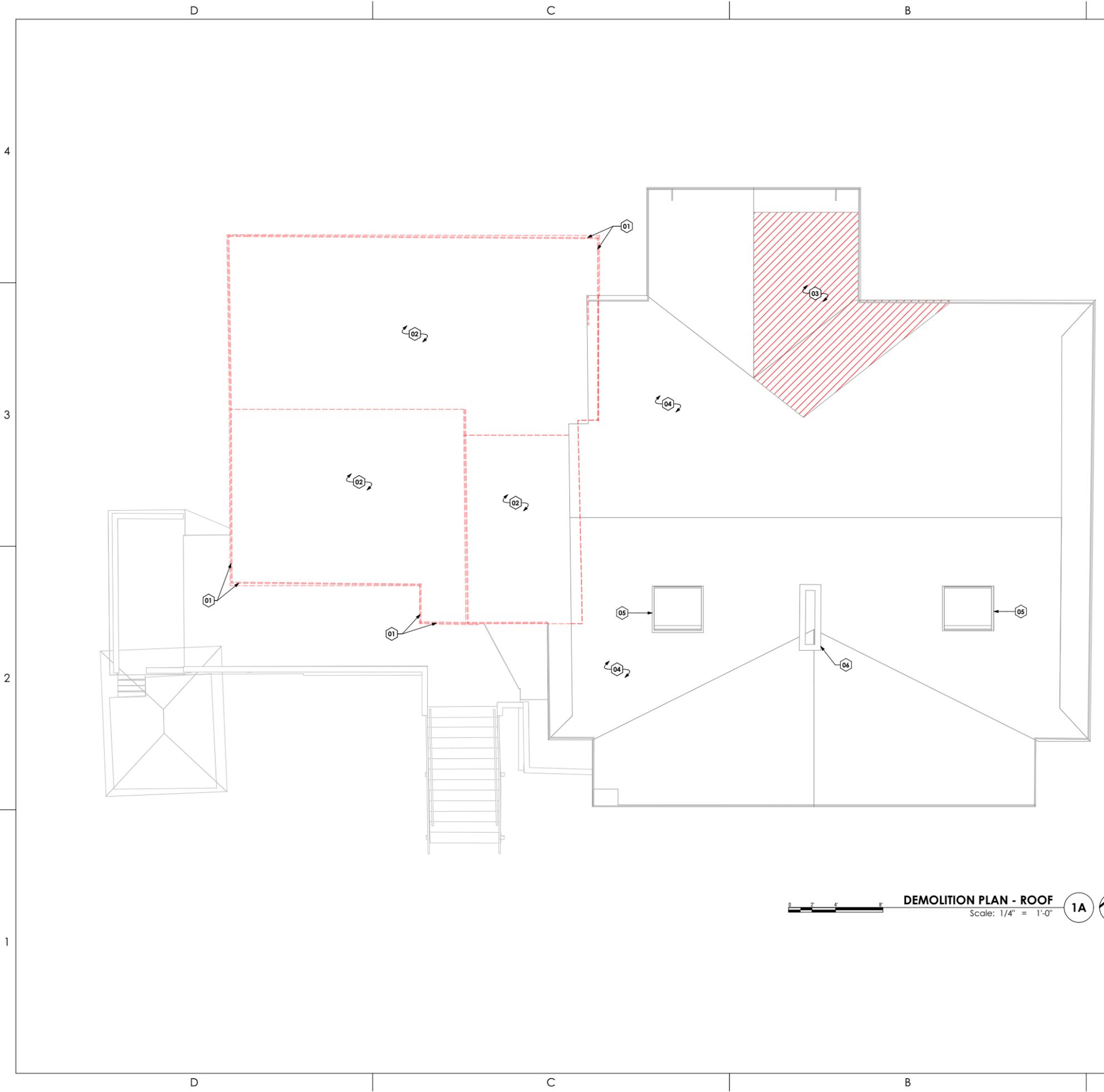
- 01. Remove Existing Fascia
- 02. Remove Existing Roof and Roof Structure
- 03. Remove Existing Roofing to Sheathing Surface at Area of Addition, as per Structural Engineering
- 04. Protect & Retain Existing Roof
- 05. Existing Skylight
 - Shown for Reference (Not in Scope)
- 06. Existing Chimney
 - Shown for Reference (Not in Scope)

General Demolition Notes:

- 1. Unless Otherwise Indicated, Demolished Materials Become Contractor's Property. Remove From Project Site.
- 2. Items Indicated to be Removed & Salvaged Remains Owner's Property. Remove, Clean & Deliver to Owner's Designated Storage Area.
- 3. Comply with EPA Regulations & Disposal Regulations of Authorities Having Jurisdiction.
- 4. If it is Not Expected That Hazardous Materials Will be Encountered in the Work. If Materials Suspected of Containing Hazardous Materials are Encountered, DO NOT Disturb. Immediately Notify Architect & Owner. Hazardous Materials Will be Removed by Owner.
- 5. Maintain & Protect Existing Utilities to Remain in Service Before Proceeding with Demolition Provided By Past Connections to Other Parts of the Building.
- 6. Locate, Identify Shut Off Disconnect & Cap Off Utility Services to be Demolished.
- 7. Conduct Demolition Operations & Remove Debris to Prevent Injury to People to & Site Improvements.
- 8. Provide & Maintain Shoring Bracing or Structural Support to Preserve Building Stability & Prevent Movement, Settlement or Collapse.
- 9. Protect Building Structure & Interior From Weather and Water Damage.
- 10. Protect Walls, Ceilings & Exposed Finishes That are to Remain. Erect & Maintain Dust Partitions. Cover and Protect Fixtures, Furnishings & Equipment That are to Remain.
- 11. Neatly Cut Openings & Holes. Plumb, Square & True Dimensions Required. Use Cutting Methods Least Likely to Damage Construction to Remain or Adjoining Construction.
- 12. All Utility Lines not Used Shall be Cut to Floor Level & Capped.
- 13. General Contractor to Coordinate w/ All Trades for Saw Cutting Existing Concrete for Any Utility Trenching.
- 14. General Contractor to Coordinate w/ Owner For Any Salvage Items.
- 15. Unless Otherwise Noted, Dimensions are Shown to Existing Finish Surfaces. Framing Dimensions to be Verified in Field.

Demolition Legend

-  Existing Elements to Remain
-  Existing Elements to be Removed



DEMOLITION PLAN - ROOF
Scale: 1/4" = 1'-0"
1A 

FIELD VERIFY ALL MEASUREMENTS

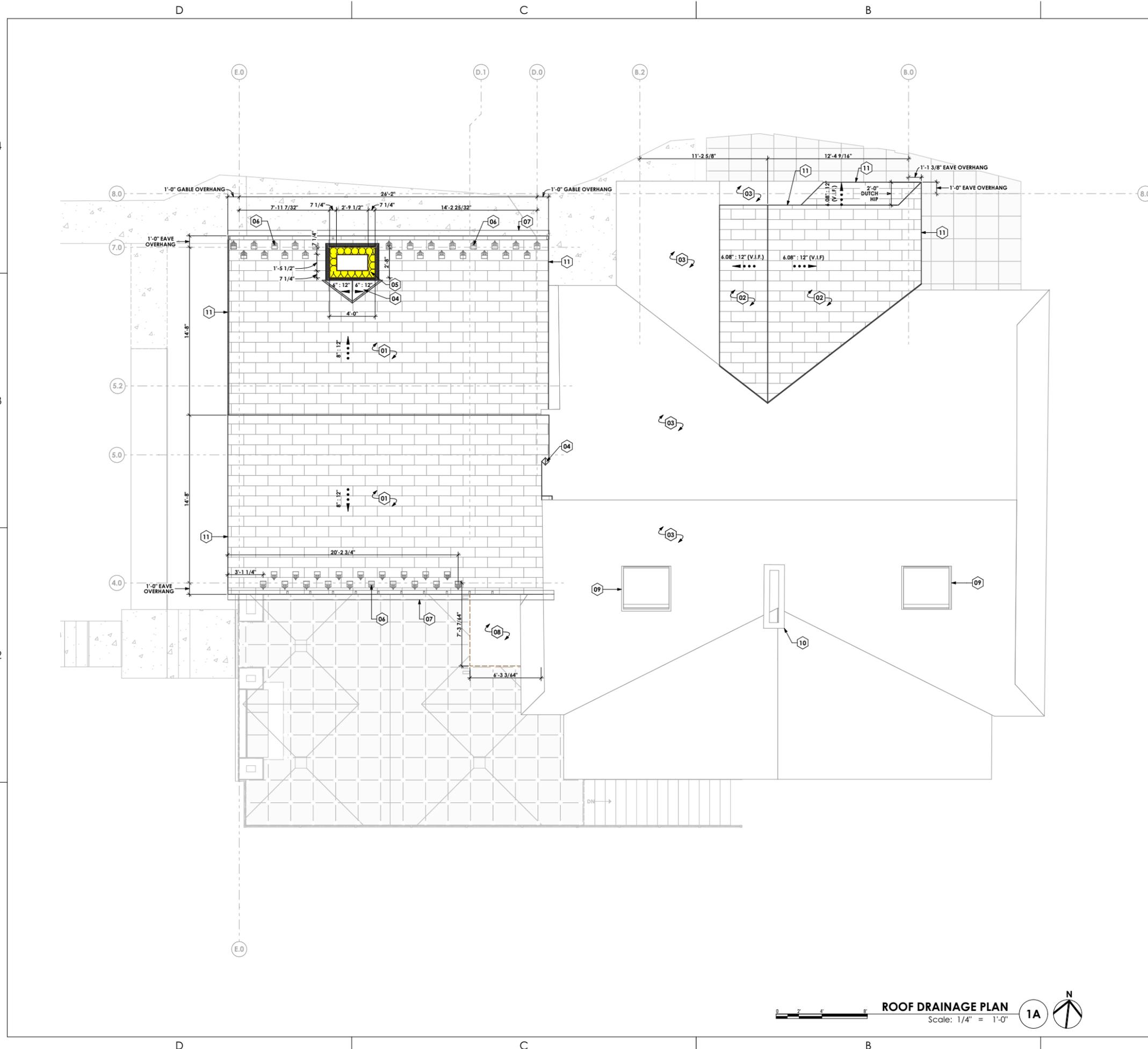
Roof Drainage Plan

Keynotes:

01. (N) Asphalt Shingle Roof over Ice & Water Shield
- Waterproofing and Shingle Specification as Selected by Architect
02. (N) Asphalt Shingle Roof over Ice & Water Shield (Overbuild at Existing Roof - See Structural)
- Match Pitch to Existing Roof Gable
- Waterproofing and Shingle Specification as Selected by Architect
03. (E) Roof
- Protect & Retain
04. (N) Drainage Cricket
- See Exterior Elevations
05. (N) Range Exhaust Chimney
- (2) Courses of Either Side of (N) Gable
- As Selected by Owner
06. (N) Break Metal Box Style Gutter
- Downspouts to be Coordinated
- Color to Match Gable and Eave Fascia
07. (N) Flat Roof Assembly with Integrated Drainage
- To be Coordinated with Architect
08. (E) Skylight
- Shown for Reference (Not in Scope)
09. (E) Fireplace Chimney
- Shown for Reference (Not in Scope)
10. (N) Break Metal Flashing at Fascia
- See Roof Details
- Color to Match Roof Gutters
11. (N) Break Metal Flashing at Fascia
- See Roof Details
- Color to Match Roof Gutters

General Roof & Drainage Notes:

01. Minimum Class C Rating for All Roofing Materials
02. Rain Gutter w/ Downspouts as per Roof System MFG & Specs
- Contractor to Provide Heat Trace System as Required & Provide UL Documentation of Heat Trace System.
- Gutters to Align Parallel w/ Fascia w/ Required Slope Drainage as per Current IRC Code
03. Attic Ventilation as Selected by Developer.
Contractor & Roof System MFG to Install as per MFG Specs & Current IRC Code.
04. Exhaust Vents: Verify w/ Installer if Penetrations Through Roof Can Exit on Rear of Ridge and Not on Front of Structure
Toilet, Furnace, Water Heater, Dryer Termination, etc; are to be Selected by Owner & Install as per Mfg's Specifications AND Requires a Minimum of 3 Feet From Any Opening into the Building as per Current IRC Code



FIELD VERIFY ALL MEASUREMENTS

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RM-770A-22_BRAMBLE RENOVATION - 03_DD - 2024-12-12 7:46 AM 12/13/2024 BIMcloud: arcflo - BIMcloud Software or a Service/BRAMBLE RENOVATION/RM-770A-22_BRAMBLE RENOVATION - 03_DD - 2024-12-12



NORTH VISUAL AID



WEST VISUAL AID



SOUTH AERIAL VIEW



EAST VISUAL AID



SOUTH VISUAL AID

ARCFLO
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Studio 228
228 East 500 South, Suite #101
Salt Lake City, Utah 84111
T 801 320 9773
projects@arcflo.com

CONSULTANT INFO:

PREPARED FOR:

JOHN + JOAN
BRAMBLE

PROJECT LOCATION:

3821 SOUTH ARROYO
ROAD

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
RENOVATION**

PROJECT ID #:

RM-770A-22

ISSUE DATE:

12/13/2024

REVIEWED BY:

INITIALS DATE

REVISIONS:

MARK DATE DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

EXTERIOR VISUAL AIDS

SCALE:

As Noted

SHEET NUMBER:

A 201

FIELD VERIFY ALL MEASUREMENTS

NORTH ELEVATION - FACADE MATERIAL CALCULATION			
COLOR	ELEVATION	AREA SQ. FT.	PERCENTAGE
	(E) NORTH BRICK	71	9.1%
	(E) NORTH FENESTRATION	43	5.5%
	(E) NORTH FOUNDATION	10	1.3%
	(E) NORTH STUCCO	173	22.1%
	(N) NORTH ARCHITECTURAL CONCRETE	16	2.0%
	(N) NORTH FENESTRATION	52	6.7%
	(N) NORTH FOUNDATION	16	2.0%
	(N) NORTH STUCCO - SANTA BARBARA FINISH	401	51.3%
TOTAL:		782 ft²	100%

General Elevation Notes:

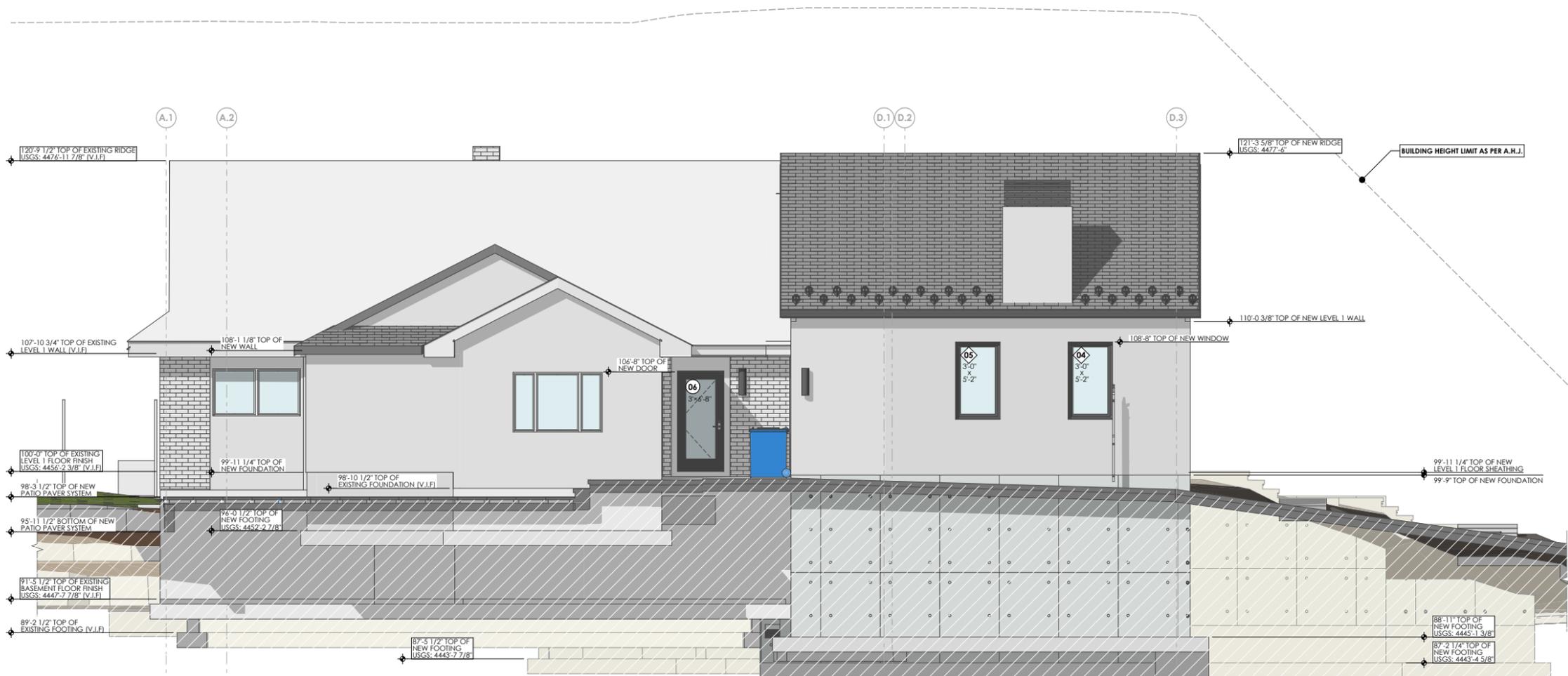
- Exhaust Vents: Toilet, Furnace, Water Heater, Dryer Termination, etc.; are to be Selected by Owner & Install as per Mfg's Specifications AND Requires a Minimum of 3 Feet From Any Opening into the Building as per Current IRC Code
- Exposed Foundation Walls to Have Hardcoat Plaster Finish - Plaster As Selected by Owner & Install as per MFG Specs
- NO Venter Soffit to be installed within 4' of the Party Wall
- NO Penetrations of Roof Rated Sheathing can be Penetrated within 4' of Party Wall as per Current IRC Code
- Rain Gutters w/ Downspouts - Square Profile - Contractor to Provide Heat Trace System as Required & Provide UL Documentation of Heat Trace System. - Drains, Sizes & Install as per Roof System MFG & Specs - Downspouts to Align Parallel w/ Fascia IRC R302.1 Exterior Walls. Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1); or dwellings equipped throughout with an automatic sprinkler system installed in accordance with Section P2904 shall comply w/ Table 302.1(2) **Exceptions:** 1. Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the Fire Separation Distance.



EXISTING NORTH ELEVATION REFERENCE
Scale: 3/32" = 1'-0" **4C**



NORTH ELEVATION - FACADE MATERIAL CALCULATION
Scale: 3/32" = 1'-0" **4B**



NORTH ELEVATION
Scale: 1/4" = 1'-0" **1A**

Symbol Legend	
Door ID# - See Door Schedule	Window ID# - See Window Schedule

FIELD VERIFY ALL MEASUREMENTS

12/13/2024 7:46 AM BIMcloud: arcflo - BIMcloud Software at a Service/BRAMBLE RENOVATION/RM-770A-22/BRAMBLE RENOVATION - 03_DD - 2024-12-12

CONSULTANT INFO:

PREPARED FOR:

JOHN + JOAN
BRAMBLE

PROJECT LOCATION:

3821 SOUTH ARROYO
ROAD

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
RENOVATION**

PROJECT ID #:

RM-770A-22

ISSUE DATE:

12/13/2024

REVIEWED BY:

INITIALS DATE

REVISIONS:

MARK DATE DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

SOUTH EXTERIOR
ELEVATION

SCALE:

As Noted

SHEET NUMBER:

A 203

SOUTH ELEVATION - FACADE MATERIAL CALCULATION			
COLOR	ELEVATION	AREA SQ. FT.	PERCENTAGE
(E) SOUTH BRICK		156	10.6%
(E) SOUTH FENESTRATION		233	15.8%
(E) SOUTH FOUNDATION		8	0.5%
(E) SOUTH STUCCO		423	28.6%
(N) SOUTH ARCHITECTURAL CONCRETE		204	13.8%
(N) SOUTH FENESTRATION		292	19.8%
(N) SOUTH STUCCO - SANTA BARBARA FINISH		161	10.9%
TOTAL:		1,477 ft²	100%

General Elevation Notes:

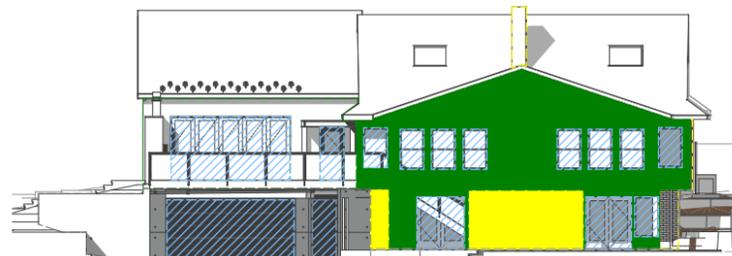
- Exhaust Vents: Toilet, Furnace, Water Heater, Dryer Termination, etc.; are to be Selected by Owner & Install as per Mfg's Specifications AND Requires a Minimum of 3 Feet From Any Opening into the Building as per Current IRC Code
 - Exposed Foundation Walls to Have Hardcoat Plaster Finish - Plaster As Selected by Owner & Install as per MFG Specs
 - NO Venter Soffit to be installed within 4' of the Party Wall
 - NO Penetrations of Roof Rated Sheathing can be Penetrated within 4' of Party Wall as per Current IRC Code
 - Rain Gutters w/ Downspouts - Square Profile - Contractor to Provide Heat Trace System as Required & Provide UI Documentation of Heat Trace System. - Drains, Sizes & Install as per Roof System MFG & Specs
 - Downspouts to Align Parallel w/ Fascia IRC R302.1 Exterior Walls. Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1); or dwellings equipped throughout with an automatic sprinkler system installed in accordance with Section P2904 shall comply w/ Table 302.1(2)
- Exceptions:**
1. Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the Fire Separation Distance.



EXISTING SOUTH ELEVATION REFERENCE

Scale: 3/32" = 1'-0"

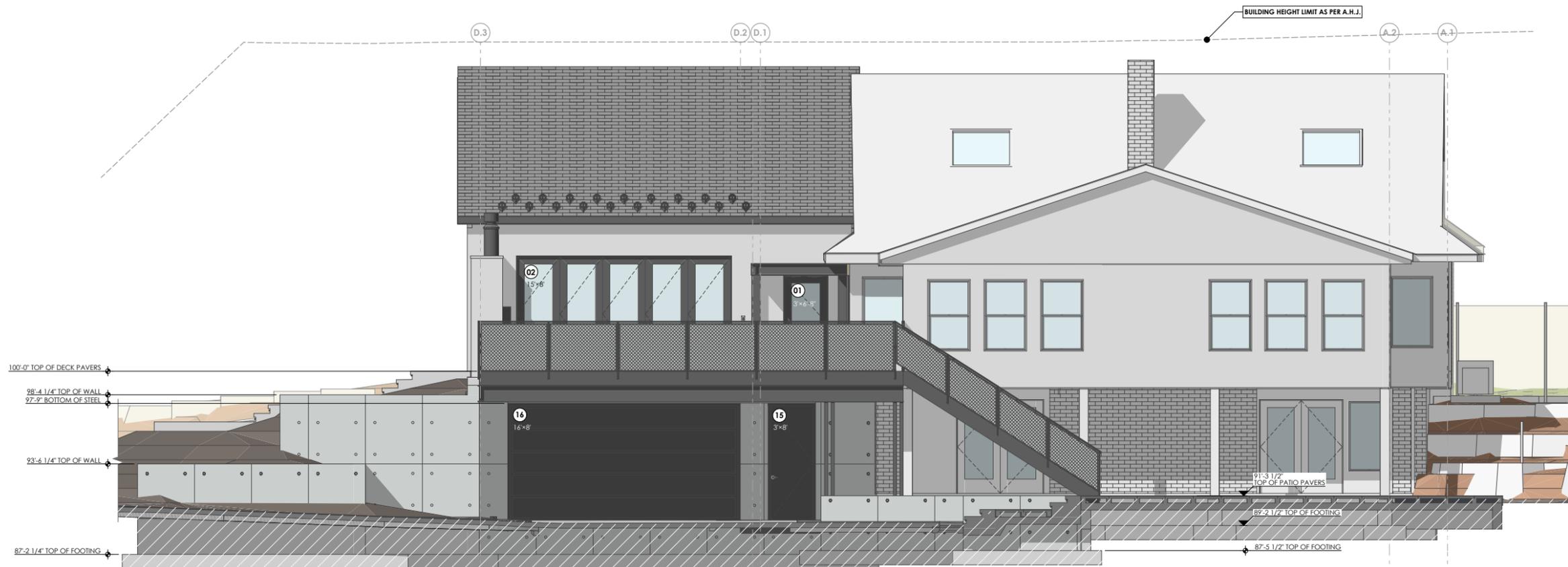
4C



SOUTH ELEVATION - FACADE MATERIAL CALCULATION

Scale: 3/32" = 1'-0"

4B



SOUTH ELEVATION

Scale: 1/4" = 1'-0"

1A

Symbol Legend

- Door ID# - See Door Schedule
- Window ID# - See Window Schedule

FIELD VERIFY ALL MEASUREMENTS

12/13/2024 7:46 AM BIMcloud: arcflo - BIMcloud Software at a Service/BRAMBLE RENOVATION/RM-770A-22/BRAMBLE RENOVATION - 03_DD - 2024-12-12

CONSULTANT INFO:

PREPARED FOR:

JOHN + JOAN
BRAMBLE

PROJECT LOCATION:

3821 SOUTH ARROYO
ROAD

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
RENOVATION**

PROJECT ID #:

RM-770A-22

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INITIALS	DATE

REVISIONS:

MARK	DATE	DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

WEST EXTERIOR
ELEVATION

SCALE:

As Noted

SHEET NUMBER:

A 204

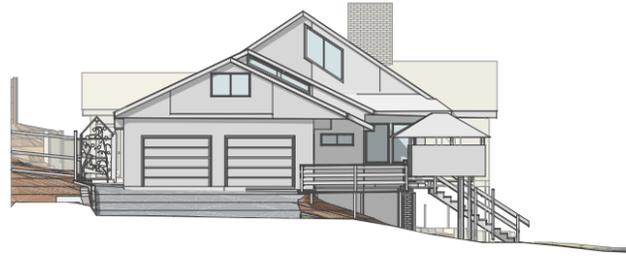
WEST ELEVATION - FACADE MATERIAL CALCULATION			
COLOR	ELEVATION	AREA SQ. FT.	PERCENTAGE
(E) WEST BRICK		36	4.5%
(E) WEST STUCCO		50	6.3%
(N) WEST ARCHITECTURAL CONCRETE		42	5.3%
(N) WEST ENTRY GATE		28	3.5%
(N) WEST FENESTRATION		66	8.3%
(N) WEST STUCCO - SANTA BARBARA FINISH		573	72.1%
TOTAL:		795 H²	100%

General Elevation Notes:

- Exhaust Vents: Toilet, Furnace, Water Heater, Dryer Termination, etc.; are to be Selected by Owner & Install as per Mfg's Specifications AND Requires a Minimum of 3 Feet From Any Opening into the Building as per Current IRC Code
- Exposed Foundation Walls to Have Hardcoat Plaster Finish - Plaster As Selected by Owner & Install as per MFG Specs
- NO Venter Soffit to be installed within 4' of the Party Wall
- NO Penetrations of Roof Rated Sheathing can be Penetrated within 4' of Party Wall as per Current IRC Code
- Rain Gutters w/ Downspouts
 - Square Profile
 - Contractor to Provide Heat Trace System as Required & Provide UI Documentation of Heat Trace System.
 - Drains, Sizes & Install as per Roof System MFG & Specs
 - Downspouts to Align Parallel w/ Fascia
- IRC R302.1 Exterior Walls. Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1); or dwellings equipped throughout with an automatic sprinkler system installed in accordance with Section P2904 shall comply w/ Table 302.1(2)

Exceptions:

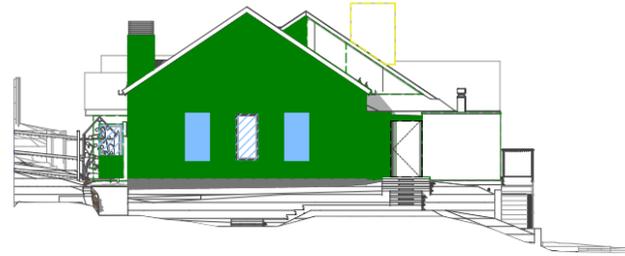
 - Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the Fire Separation Distance.



EXISTING WEST ELEVATION REFERENCE

Scale: 3/32" = 1'-0"

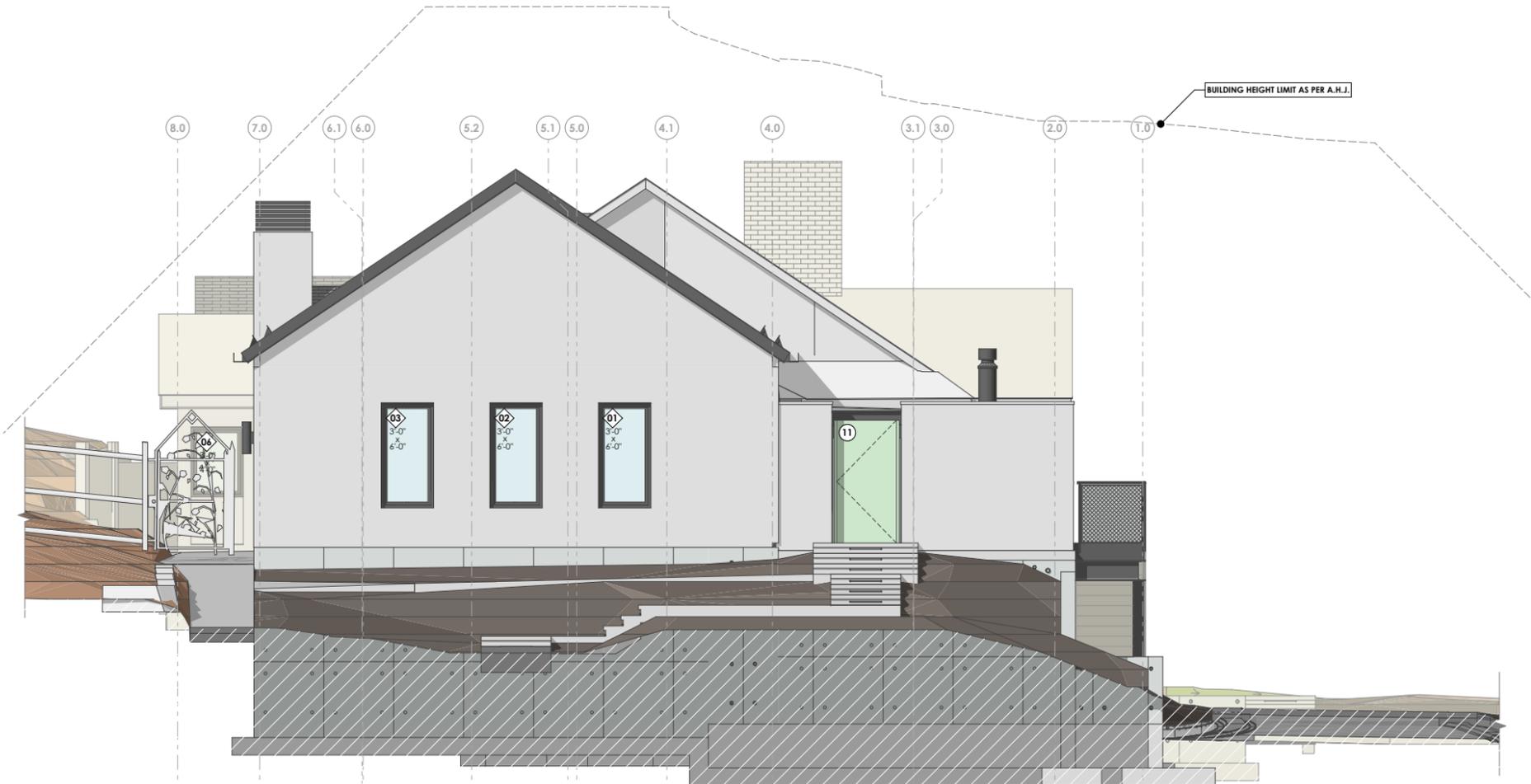
4C



WEST ELEVATION - FACADE MATERIAL CALCULATION

Scale: 3/32" = 1'-0"

4B



WEST ELEVATION

Scale: 1/4" = 1'-0"

1A

Symbol Legend	
Door ID# - See Door Schedule	Window ID# - See Window Schedule

FIELD VERIFY ALL MEASUREMENTS

BIMcloud: arcflo - BIMcloud Software at a Service/BRAMBLE RENOVATION/RM-770A-22/BRAMBLE RENOVATION - 03_DD - 2024-12-12
 12/13/2024 7:46 AM
 RM-770A-22/BRAMBLE RENOVATION - 03_DD - 2024-12-12

CONSULTANT INFO:

PREPARED FOR:

JOHN + JOAN
BRAMBLE

PROJECT LOCATION:

3821 SOUTH ARROYO
ROAD

AUTHORITY HAVING JURISDICTION:

MILLCREEK

ZIP CODE:

84106

PROJECT TITLE:

**BRAMBLE
RENOVATION**

PROJECT ID #:

RM-770A-22

ISSUE DATE:

12/13/2024

REVIEWED BY:

INITIALS DATE

REVISIONS:

MARK DATE DESCRIPTION

PHASE:

DRAWINGS FOR PERMIT SUBMITTAL

SHEET TITLE:

EAST EXTERIOR
ELEVATION

SCALE:

As Noted

SHEET NUMBER:

A 205

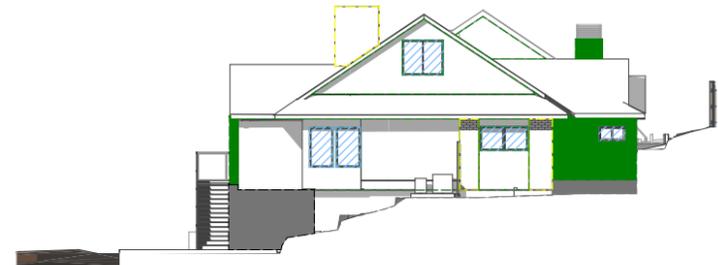
EAST ELEVATION - FACADE MATERIAL CALCULATION			
COLOR	ELEVATION	AREA SQ. FT.	PERCENTAGE
	(E) EAST BRICK	83	10.5%
	(E) EAST FENESTRATION	70	8.8%
	(E) EAST FOUNDATION	53	6.7%
	(E) EAST STUCCO	367	46.2%
	(N) EAST ARCHITECTURAL CONCRETE	75	9.4%
	(N) EAST FENESTRATION	7	0.9%
	(N) EAST FOUNDATION	17	2.1%
	(N) EAST STUCCO - SANTA BARBARA FINISH	122	15.4%
TOTAL:		794 ft²	100%

General Elevation Notes:

- Exhaust Vents: Toilet, Furnace, Water Heater, Dryer Termination, etc.; are to be Selected by Owner & Install as per Mfg's Specifications AND Requires a Minimum of 3 Feet From Any Opening into the Building as per Current IRC Code
- Exposed Foundation Walls to Have Hardcoat Plaster Finish - Plaster As Selected by Owner & Install as per MFG Specs
- NO Venter Soffit to be installed within 4' of the Party Wall
- NO Penetrations of Roof Rated Sheathing can be Penetrated within 4' of Party Wall as per Current IRC Code
- Rain Gutters w/ Downspouts - Square Profile - Contractor to Provide Heat Trace System as Required & Provide UI Documentation of Heat Trace System. - Drains, Sizes & Install as per Roof System MFG & Specs - Downspouts to Align Parallel w/ Fascia IRC R302.1(1); or dwellings equipped throughout with an automatic sprinkler system installed in accordance with Section P2904 shall comply w/ Table 302.1(2) **Exceptions:** 1. Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the Fire Separation Distance.



EXISTING EAST ELEVATION REFERENCE 4C
Scale: 3/32" = 1'-0"



EAST ELEVATION - FACADE MATERIAL CALCULATION 4B
Scale: 3/32" = 1'-0"



EAST ELEVATION 1A
Scale: 1/4" = 1'-0"

Symbol Legend	
Door ID# - See Door Schedule	Window ID# - See Window Schedule

FIELD VERIFY ALL MEASUREMENTS

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