



EX-24-003

Mayor's Meeting Staff Report

Meeting Date: 3/31/2025

Applicant: Colin Bagley

Re: Sidewalk, Curb, and Gutter Exception/Deferral

Property Address: 3410 S 2700 E

Zone: R-1-8

Prepared By: Carlos Estudillo, Planner

Scope of Decision: **Discretionary.** This is an administrative matter, to be decided by the Millcreek City Mayor upon receiving a recommendation from the Community Council(s), Public Works Department, and the Millcreek Planning Commission.

REQUEST AND SYNOPSIS

Colin Bagley is requesting an exception to Millcreek's code, as it pertains to property located at 3410 South and 2700 East, which requires certain improvements (i.e., curb, gutter, park strip, sidewalk, asphalt, etc.) to be installed along the frontage of the property abutting 2700 East. The following section of Millcreek code applies to this request:

Section 15.28.010 Dedication and Improvement Required

"Except as otherwise provided in MKC 15.28.020, no building or structure shall be erected, reconstructed, structurally altered or enlarged, and no building permit shall be issued therefor, on any lot or parcel of land which abuts a major or secondary highway, as shown on the map entitled, "The City Transportation Improvement Plan," on file with the planning and development services division and made part of this chapter by reference, or other public street which does not conform to current city width standards, unless the portion of such lot or parcel within the right-of-way of the highway to be widened or additional required street width has been dedicated to the city and improved. The dedication and improvements shall meet the standards for such highway or street as provided in MKC 15.28.060."

The applicant is also bound by the MKC 18.03.140 (f) Improvement Completion Assurance. Approval of a minor subdivision plat authorizes the subdivider to proceed with the subdivision. However, no lot(s) shall be sold unless either the required improvements have been installed and accepted by the city, or the cost of said improvements have been financially assured as set forth in MKC 18.05.020 Improvement Completion Assurance.

Section 19.76.210 Off-Site Improvements

“Off-Site Improvements Required. The applicant for a building or conditional use permit for all dwellings, commercial or industrial uses, and all other business and public and quasi-public uses shall provide curb, gutter and sidewalk along the entire property line which abuts any public road or street in cases where it does not exist at City standards. Vehicular entrances to the property shall be provided as required in MKC 14.12.110. Height, location, structural specifications, maximum and minimum cut radii, and minimum roadway approach angles to the centerline of the street are subject to the approval of the agency concerned.”

Section 18.04.010 Required Improvements

1. *The following improvements shall be required and adhere to the standards in the Millcreek Code of Ordinances.*
2. *Storm Water System*
3. *Public Sanitary Sewer*
4. *Storm Drainage to Comply with Low Impact Design Standards*
5. ***Street Improvements***
6. *Street Lighting*
7. ***Curb and Gutter***
8. ***Utility and Facility Systems to be Undergrounded.***
9. ***Sidewalks***
10. *Street Name Signs*
11. *Trails*
12. *Fire Hydrants*
13. *Stormwater Inlets*
14. *Fencing Along Right-of-Ways Where Lots Rear Public Streets*
15. ***Undergrounding/piping of Canals Where Adjacent to Public Right-of-Way***

Section 14.12.025 of Millcreek’s Code “Curb Ramps, Ramps And Sidewalks To Comply With Standards”, states;

“All public and private curb ramp, ramp and sidewalk development located within the city subject to the jurisdiction of the city shall meet the requirements of this chapter”. . . .

Section 2.56.100 requires the Community Councils recommendations as stated:

“The city planning and zoning department shall submit to all members of the community council copies of the city planning commission public meeting agendas, text changes to the zoning ordinance, zoning or conditional use applications pertaining to territory located within each community district, and applications for extraordinary relief and exceptions to the city Code of Ordinances. Community councils are encouraged to make written recommendations concerning such applications to the community development department.

Section 14.12.150 of Millcreek’s Code does allow some exceptions as stated;

“In cases where unusual topographical, aesthetic, or other exceptional conditions or circumstances exist, variations or exceptions to the requirements of this chapter may be approved by the mayor after receiving recommendations from the planning commission and the public works director; provided, that the variations or exceptions are not detrimental to the public safety or welfare.”

The applicant has made an application requesting an exception and has provided documentation supporting their request (see attached).

FINDINGS, CONCLUSIONS, & RECOMMENDATION

Findings:

1. The subject property has one street frontage and is approximately .66 acres in size.
2. The subject property abuts 2700 East and extends approximately 104 feet in length. There is no curb and gutter on the subject property, abutting 2700 East; however, curb, gutter and sidewalks are installed at some locations along 2700 East, between 3300 South and Evergreen Ave.
3. Millcreek's code will require piping the existing Amos Neff open ditch to accommodate the applicant's curb, gutter and sidewalk with the current 89 foot right of way, to conform with Millcreek's minimum standard following the Master Transportation Plan of a 66' Minor Collector cross section roadway.
4. Evergreen and 3300 S connecting to 2700 East are considered "high priority walking" on Millcreek's master plan.
5. The school route and Millcreek's walkability route is located at the North end of 2700 East, near 3300 South and along Evergreen Ave running East and west of 2700 East, being part of the Wasatch Jr High Safe Routes to School (SRTS) program.
6. Street improvements have not been installed along the west side of 2700 E, between 3300 S and Evergreen avenue, apart from the lot at the corner of 3300 S and 2700 E.
7. Street improvements are already installed on the opposite side of the subject property, at 2700 E. at the North end of 2700 E. near 3300 South and along Evergreen Ave. (103 ft south of this property location.)
8. Based on the ALTA Survey, the topography on the frontage of the property has about 1.75 feet of Slope from the SEC of the property to the NEC of the property providing safe grade for right-of-way improvements and exceeds the standards for the gravity irrigation replacement.
9. The single tree in the front of the property on the West edge of the irrigation ditch will foul the required sidewalk by about 2 feet, but not the curb and gutter alignment. The tree appears to be a well-maintained elm or cottonwood tree.
10. The irrigation ditch as it currently exists appears to be an open 2-sided structure gravity ditch that flows North. The natural topography of the property surface slopes North at about 1.66% at the frontage property line. This fact only makes the possibility of piping this section of ditch a feasible action. Piping the ditch would not only make 2700 East a safer street to pass on foot, to would provide a more passible area for bicycles and vehicular traffic.
11. At this time there is no action staff could take to alleviate the right-of-way improvements that are

currently required of the applicant as a condition of his subdivision application, following Millcreek code. Nor may staff recommend an exemption due to fact that the development is for a Minor Subdivision, with an open ditch safety hazard hindering the walkability of this area. As stated in the community council, “this section of roadway is not used by pedestrians because of the lacing sidewalk”. ROW improvement deferrals can only be granted by the Mayor, and are not generally granted for subdivisions developments

12. Section 14.12.150 of the Millcreek’s Code states: “In cases where unusual topographical, aesthetic, or other exceptional conditions or circumstances exist, variations or exceptions to the requirements or this chapter may be approved by the mayor after receiving recommendations from the planning commission and the public works director; provided, that the variations or exceptions are not detrimental to the public safety or welfare.” The applicant has identified the following circumstances:
- a. **Topographical:** The applicant has not identified any topographical concerns that would keep the applicant from installing the required street improvements.
 - b. **Aesthetic:** The applicant claims that the completion of improvements along his section of 2700 East would demolish the tree line along the whole block. These are mature trees, that compose the character of the neighborhood and are argued to be one of the reasons people live in Millcreek.
 - c. **Exceptional Conditions or Circumstances:** The proposed improvements would require the re-routing of the existing ditch network. The applicant finds that all of the concrete and piping work would need to be re-excavated and re-done each time the ditch is moved, as each property is expected to re-route their portion of the ditch pipe, as they slowly develop their properties. The applicant identifies that it would make more sense to defer the improvements and install them all at once, to prevent extensive repetition of work in the neighborhood.

Conclusions:

Based on the findings listed above:

- 1. The noted route located at 2700 East is a shared roadway for bikes between the Wasatch Jr High Safe Routes to School (SRTS) program and is part of Millcreek's moderate priority for sidewalks. It is also a high priority for sidewalks at (3300 South) and Moderate and high Priority for sidewalks running East-West on (Evergreen); Therefore, the installation of a sidewalk and other improvements to 2700 East would achieve the goal of improving safety in the areas surrounding schools.
- 2. Topographical: Millcreek Engineering has no topographical hindrances for installed improvements and is confident that if any arise from site construction, a safe and economical solution can be found.
- 3. Aesthetic: with designed improvements scaled in place on the plan sheet, Millcreek Engineering notes the current ROW cross section of 89’ in place; there will not be enough ROW area to preserve the noted mature tree.
- 4. Exceptional Conditions or Circumstances: The Irrigation ditch will only need to be piped once at this location, if done correctly. The applicants engineering and construction team

should work closely Amos Neff Ditch company to install the correct pipe size and pipe material needed within the ditch company standards, including proper bedding, backfill and compaction for a shallow bury pipe. This will allow the pipe to be in good working order for up to 100 years of service. Adjacent property owners that develop along 2700 East with the need to add ROW improvements will also bury the irrigation pipe, making connections to the previously buried pipe, if necessary. Each property owner is only responsible for the replacement of pipes and improvements for total liner feet of frontage along each property frontage.

EAST MILL CREEK COMMUNITY COUNCIL RESPONSE

The East Mill Creek Community Council held a meeting on February 6th, 2025, and unanimously recommended that an exception/deferral be approved. The East Millcreek Community Council believes that the applicant has met the criteria identified on Section 14.12.150 of the Millcreek's Code, as it pertains to the **Aesthetic** and **Exceptional conditions or circumstances**. Their reasoning was as follows:

- The west side of 2700 East has ditches that complicate the sidewalk construction.
- If the applicant installed the improvements, this would be the only lot with improvements on the west side of 2700 S between 3300 S and Evergreen Ave.
- The consensus was that, with respect to pedestrian safety, it would be better to address the east side of 2700 E where some sidewalk already exists.

MILLCREEK PLANNING COMMISSION RESPONSE

The Millcreek Planning Commission held a meeting on February 26th, 2025, and recommended not granting an exception, but suggested the Mayor consider a deferral based on the findings and conclusion of the staff report. While commissioner Richardson voted no, as the exception criteria were not met and should not be deferred, the rest of the Planning Commission recommended a deferral rather than an exception.

STAFF RECOMMENDATIONS:

The Millcreek Public Works Director, John Miller, has been notified about this exception application, and **does not** recommend an exception to install sidewalk, park strip, curb, gutter, and other related improvements abutting the property alongside 2700 E, on the basis that 2700 E does not appear to have any unusual topographical, aesthetic, or other exceptional conditions or circumstances which would warrant an exception to be considered.

The improvements would need to be installed per the local street cross section, shown in the 2019 Transportation Master Plan. However, a deferral may be considered by the Mayor to delay the installation of improvements until neighboring lots start their own improvements through development.

Planning staff recommends a deferral agreement for the sidewalk, curb, and gutter along the property at 3410 E 2700 E.

SUPPORTING DOCUMENTS

- **Aerial Image**
- **ALTA Survey**
- **Letter from applicant with images**
- **Safe School Routes**

Millcreek City,

I am writing this letter to outline the intent for deferring the sidewalk infrastructure additions until a future date when it is deemed appropriate for the entire block of neighbors to demolish and deforest existing landscaping to clear the way for the proposed sidewalk in addition to moving the existing irrigation network.

Context

I have been a resident of Millcreek for 34 years having first grown up in Millcreek and afterwards having purchased a home in Millcreek. Over the past 15 months I have been working through the process of adding a flag lot to the back of my property. The plat for the new flag lot was recently completed and has been recorded.

As part of that process and application it was proposed to install a list of additional infrastructure including adding a sidewalk, an extension of the asphalt on the road, addition of curb and gutter, new pipe for Millcreek Irrigation ditch and moving an existing power pole 10 feet west to accommodate these additions.

While these improvements would make sense in a new development of vacant land, I hope to outline here why the city will do better to defer these infrastructure improvements until a future date.

Character of Neighborhood

One of the many reasons people enjoy living in Millcreek is the mature trees and character of the neighborhood. Completing the proposed sidewalk on this section of 2700 E would demolish the treeline along the whole block. Each home on the street has between one to five trees in the demolition and deforestation zone of the proposed sidewalk. See pictures below or access google street view on your computer.

Timeline

These infrastructure adjustments are required for anyone making adjustments to their lots. This requirement makes sense as a way to slowly upgrade one by one until the new sidewalk is complete.

However, the two homes to the north were recently built (approx 2008) and there will likely not be major updates on those properties the next 20 years. This means that the proposed sidewalk will be the width of one-lot then terminate in a dead end for the next 20-40 years.

Irrigation Ditch Network

The proposed improvements would require re-routing the existing ditch network. If done piecemeal then each property would re-route to accommodate the new sidewalk and then re-route back to the original location in order to connect with the existing ditch location on the adjoining property. Furthermore all this new concrete and piping work would then need to be re-excavated and re-done each time the ditch is moved as each property would not be installing a new sidewalk and ditch simultaneously. It would make more sense to defer and do all the sidewalks at once and all the ditch work at one time. This would prevent extensive re-work as each neighboring property routes and re-routes their ditch.

I hope to convey that the proposed changes are best deferred until a future date. The following pages provide pictures of the area in question.

Thanks
Colin Bagley

Overview of the Section of 2700 E for proposed sidewalk



All of these trees would need to be cleared along each of these individual properties in order to put in a sidewalk that would extend approx 32-24 feet from the centerline of the road.

3410 Property

(Picture taken from the south looking north)



Cinder blocks show where 32 feet from centerline would terminate, meaning this tree would need to be removed to make way for the sidewalk.

3410 Property

(Picture taken from north looking south)



View from north looking south to show sidewalk placement and neighbor to south yard.

3400 South (Neighbor one parcel to the north)



View of neighbor to the north whose multiple trees would need to be removed in order to make way for the proposed sidewalk.

3394 South (Neighbor two parcels to the north)



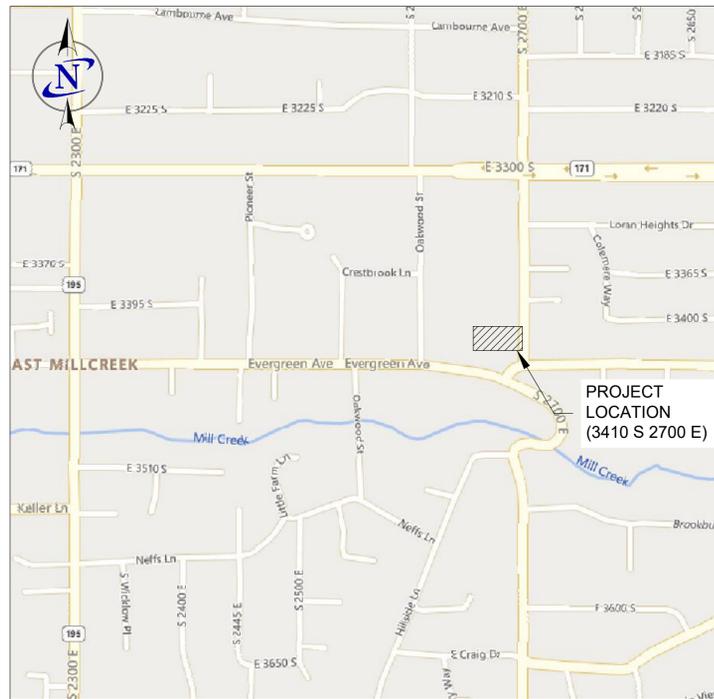
Neighbor two parcels to the north built in 2008 would need to remove all of these trees making their driveway and sidewalk nearly one continuous pavement from the road.



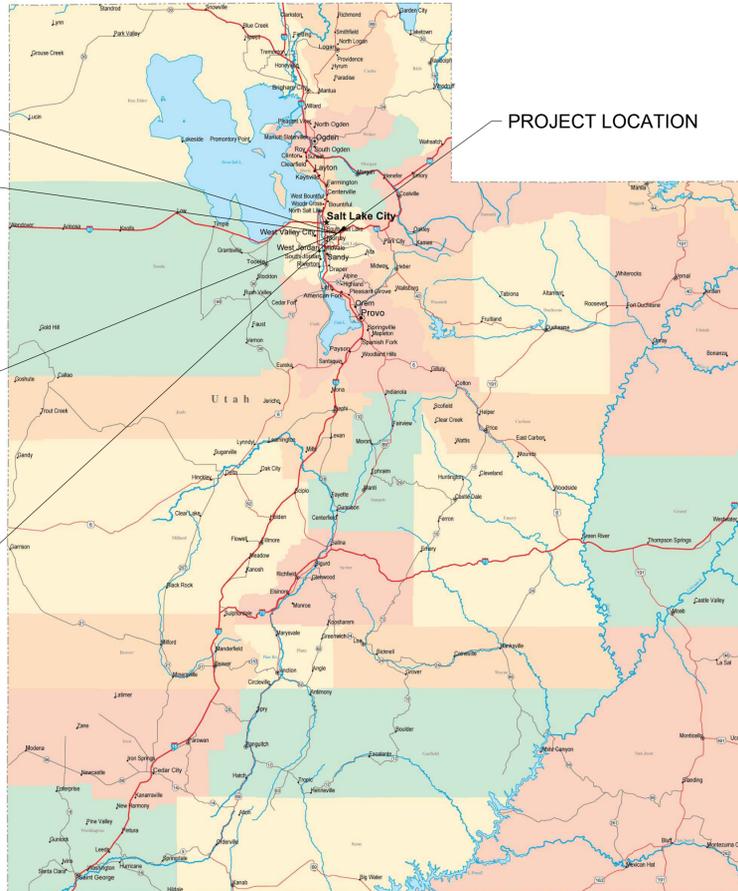
Neighbor to the south's parcel with the tree at 3410 seen to show all that would need to be removed to make way for the sidewalk.

BAGLEY SUBDIVISION CONSTRUCTION DRAWINGS

LOCATED IN THE SOUTHEAST QUARTER OF
SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN,
MILLCREEK CITY, UTAH
2 LOTS



VICINITY MAP N.T.S.



PROJECT LOCATION

SHEET INDEX

CV1	COVER SHEET
NT1	GENERAL NOTES
AL1	ALTA/NSPS LAND TITLE SURVEY
PL1	FINAL PLAT
DM1	DEMO PLAN
SP1	SITE PLAN
GP1	GRADING/DRAINAGE PLAN
UT1	UTILITY PLAN

NOTES

- CONTRACTOR IS RESPONSIBLE TO ATTEND PRE-CONSTRUCTION CONFERENCE WITH MILLCREEK STAFF.
- CONTRACTOR IS RESPONSIBLE TO ACQUIRE ALL NECESSARY PERMITS FROM RESPONSIBLE ENTITIES
- SEE CURRENT VERSION OF AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS.
- SEE CURRENT PUBLICATION OF MILLCREEK STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION FOUND AT:
<https://millcreek.us/documentscenter/view/95/standard-plans-for-public-works-construction--PDF>
- SEE ALL APPLICABLE STUDIES AND REPORTS THAT DESCRIBE CONSTRUCTION SITE CONDITIONS AND RESPONSIBILITY FOR ANY MITIGATION MEASURES
- CONTRACTOR IS RESPONSIBLE TO SCHEDULE INSPECTIONS AND TESTING PER MILLCREEK REQUIREMENTS.
- IT IS THE OBLIGATIONS OF THE CONTRACTOR TO PROVIDE AS-BUILT RECORD DRAWINGS PRIOR TO FINAL PLAT APPROVAL
- FIRM MAP NUMBER 49035C0304H, PANEL 304 OF 625
EFFECTIVE DATE NOVEMBER 19, 2021
FLOOD ZONE X

OWNER / DEVELOPED BY:

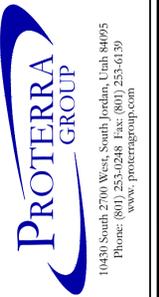
COLIN BAGLEY
(801) 580-3238
3410 S 2700 E
MILLCREEK, UTAH

PLANS PREPARED BY:

PROTERRA GROUP
DAVE REDDISH - PROJECT MANAGER
10430 2700 WEST
SOUTH JORDAN, UTAH 84095
(801) 253-0428 TEL
(801) 253-6139 FAX

PROJECT BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS THE SOUTHEAST CORNER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.
BENCHMARK ELEVATION = 4711.02'



BAGLEY SUBDIVISION - 3410 S 2700 E

COVER SHEET
CONSTRUCTION DRAWINGS

REV.	DESCRIPTION	DATE

DESIGN CHECK: DR

DRAFTING CHECK: JA

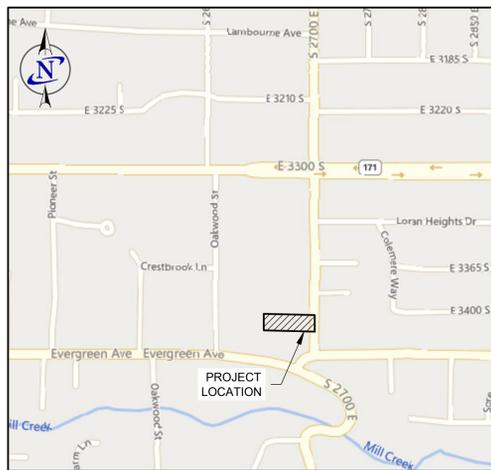


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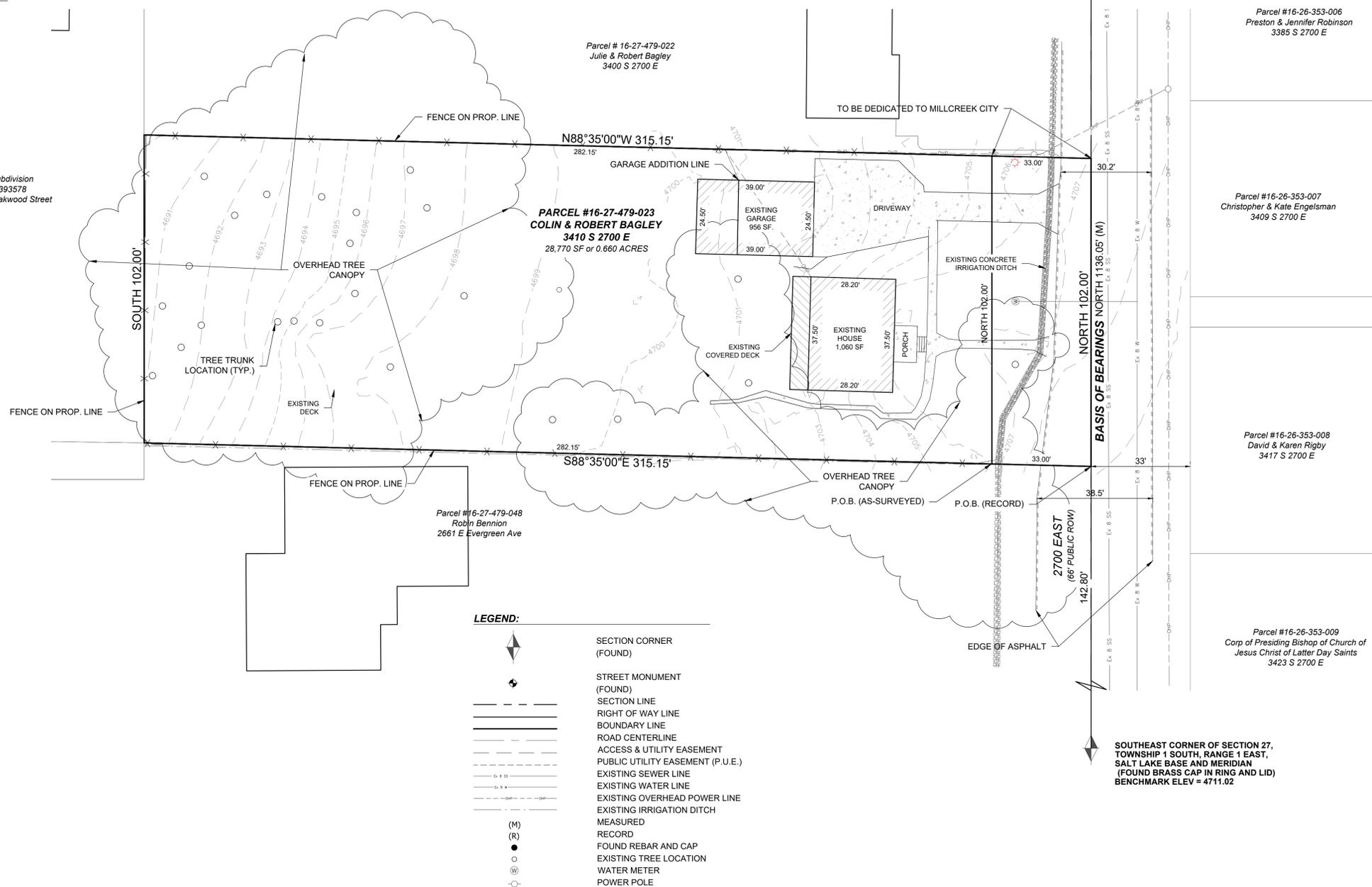
CV1

ALTA/NSPS LAND TITLE SURVEY BAGLEY SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER OF
SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN,
MILLCREEK CITY, UTAH



VICINITY MAP N.T.S.



LEGEND:

	SECTION CORNER (FOUND)
	STREET MONUMENT (FOUND)
	SECTION LINE
	RIGHT OF WAY LINE
	BOUNDARY LINE
	ROAD CENTERLINE
	ACCESS & UTILITY EASEMENT
	PUBLIC UTILITY EASEMENT (P.U.E.)
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING IRRIGATION DITCH
	MEASURED
	RECORD
	FOUND REBAR AND CAP
	EXISTING TREE LOCATION
	WATER METER
	POWER POLE



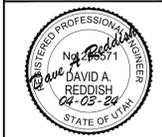
SURVEYOR'S CERTIFICATE:	
TO: COLIN BAGLEY & GT TITLE SERVICES INC.	
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-5, 7A, 7B, 8, 13, & 17 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 19, 2023.	
THIS SURVEY IS IN CONFORMANCE WITH THE UTAH COUNCIL OF LAND SURVEYORS STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS	
<p style="text-align: center;"><i>Jared Ashton</i></p> <p style="text-align: center;">JARED ASHTON UTAH PROFESSIONAL LAND SURVEYOR LICENSE NO. 12411560</p>	
BOUNDARY DESCRIPTION PER TITLE REPORT:	
BEGINNING 142.8 FEET NORTH FROM THE SOUTHEAST CORNER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 102.0 FEET; THENCE NORTH 88°35' WEST 315.15 FEET; THENCE SOUTH 102.0 FEET; THENCE SOUTH 88°35' EAST 315.15 FEET, TO THE POINT OF BEGINNING.	
AS-SURVEYED DESCRIPTION:	
A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, IN SALT LAKE COUNTY, UTAH, BEING DESCRIBED AS FOLLOWS:	
BEGINNING AT A POINT NORTH 142.80 FEET AND WEST 33.00 FEET FROM THE SOUTHEAST CORNER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING ON THE WESTERLY RIGHT OF WAY OF 2700 EAST; THENCE ALONG SAID RIGHT OF WAY LINE NORTH 102.00 FEET; THENCE NORTH 88°35'00" WEST 282.15 FEET TO A POINT ALONG THE EASTERLY BOUNDARY LINE OF DANIELS SUBDIVISION ON RECORD AT THE SALT LAKE COUNTY RECORDERS OFFICE AS ENTRY #8393578; THENCE ALONG SAID SUBDIVISION SOUTH 102.00 FEET TO THE SOUTHEAST BOUNDARY CORNER OF SAID SUBDIVISION; THENCE SOUTH 88°35'00" EAST 282.15 FEET TO THE POINT OF BEGINNING.	
CONTAINS 28,770 SF OR 0.660 ACRES	
BASIS OF BEARINGS:	
THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 1136.05' (M) BETWEEN THE SOUTHEAST CORNER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN AND THE STREET MONUMENT AT THE INTERSECTION OF 3300 SOUTH AND 2700 EAST.	
THE BENCHMARK FOR THIS SURVEY IS THE SOUTHEAST CORNER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. BENCHMARK ELEVATION = 4711.02'	
GENERAL NOTES:	
<ol style="list-style-type: none"> THIS SURVEY IS BASED UPON THAT CERTAIN COMMITMENT FOR TITLE INSURANCE, ISSUED BY GT TITLE SERVICES INC, COMMITMENT #SL54686CJ, COMMITMENT EFFECTIVE DATE: AUGUST 24, 2023 THERE IS NO OBSERVABLE EVIDENCE OF THE SITE HAVING BEEN USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL. THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS. THIS PROPERTY LIES IN ZONE X PER FEMA FLOOD MAP PANEL 304 OF 625, MAP #49035C0304H, REVISED NOVEMBER 19, 2021. DOCUMENTS UTILIZED IN THE PERFORMANCE OF THIS SURVEY: <ul style="list-style-type: none"> DOCUMENTS REFERENCED IN THE ABOVE MENTIONED POLICY OF TITLE INSURANCE 	
SURVEY NARRATIVE	
THE PURPOSE OF THIS SURVEY IS TO PROVIDE AN "ALTA/NSPS LAND TITLE SURVEY" ON THE SUBJECT PROPERTY PER THE CLIENTS REQUEST, THAT WILL BE UTILIZED BY THE OWNER FOR THE SUBDIVISION OF THE SUBJECT PROPERTY. ALL DEED LINES WERE FOUND TO MATCH LINES OF OCCUPATION, THUS THE DEED WAS HELD. THE EASTERLY 33.00 FEET OF THE PROPERTY WHICH LIES IN THE RIGHT OF WAY OF 2700 EAST IS PROPOSED TO BE DEDICATED TO MILLCREEK CITY FOR THE PUBLIC RIGHT OF WAY.	
SCHEDULE B-2 EXCEPTIONS	
BASED ON THAT CERTAIN COMMITMENT FOR TITLE INSURANCE ISSUED BY GT TITLE SERVICES INC FILES #SL54686CJ EFFECTIVE DATE: AUGUST 24, 2023	
ALL EXCEPTIONS ARE NOT ADDRESSED ON THIS MAP.	
ALTA/NSPS LAND TITLE SURVEY BAGLEY SUBDIVISION	
SITUATED IN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, MILLCREEK CITY, SALT LAKE COUNTY, UTAH	DEVELOPER COLIN BAGLEY 801-580-3238 3410 S 2700 E MILLCREEK, UTAH
10430 South 2700 West, South Jordan, Utah 84095 Phone: (801) 253-0248 Fax: (801) 253-6139	
Sheet 1 OF 1	
AL1	

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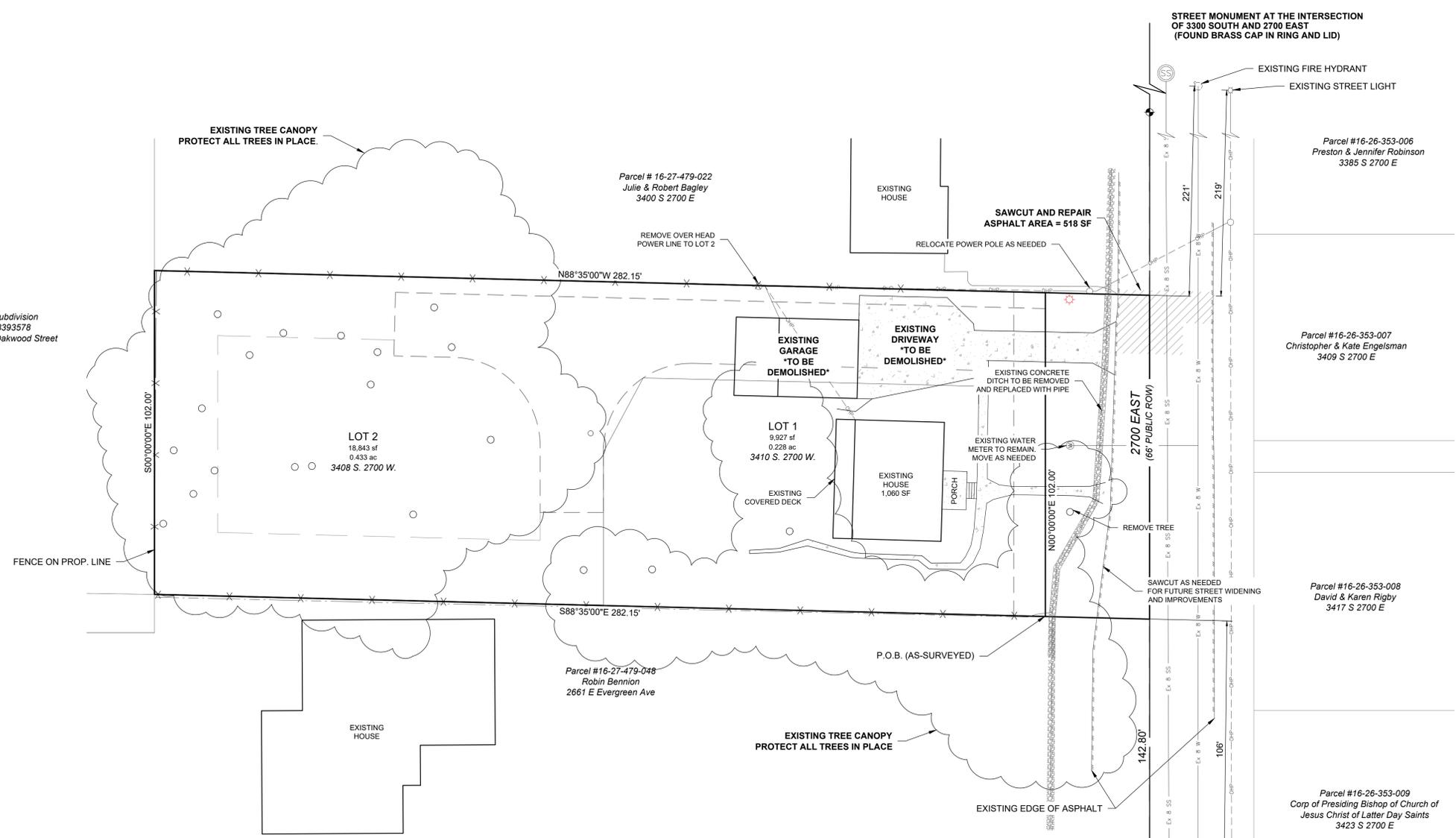
BAGLEY SUBDIVISION - 3410 S 2700 E
DEMO PLAN
 CONSTRUCTION DRAWINGS

REVISIONS	DESCRIPTION	DATE

DESIGN CHECK:
 DRAFTING CHECK:



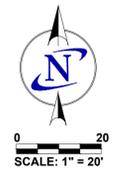
SHEET: **DM1**



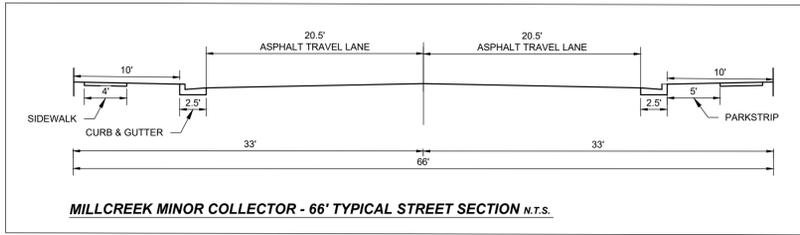
LEGEND:

	SECTION CORNER (FOUND)
	STREET MONUMENT (FOUND)
	SECTION LINE
	RIGHT OF WAY LINE
	BOUNDARY LINE
	ROAD CENTERLINE
	ACCESS & UTILITY EASEMENT
	PUBLIC UTILITY EASEMENT (P.U.E.)
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING IRRIGATION DITCH
	PROPOSED WATER LATERAL
	PROPOSED SEWER LATERAL
	FOUND REBAR AND CAP
	EXISTING TREE TRUNK LOCATION
	WATER METER
	POWER POLE

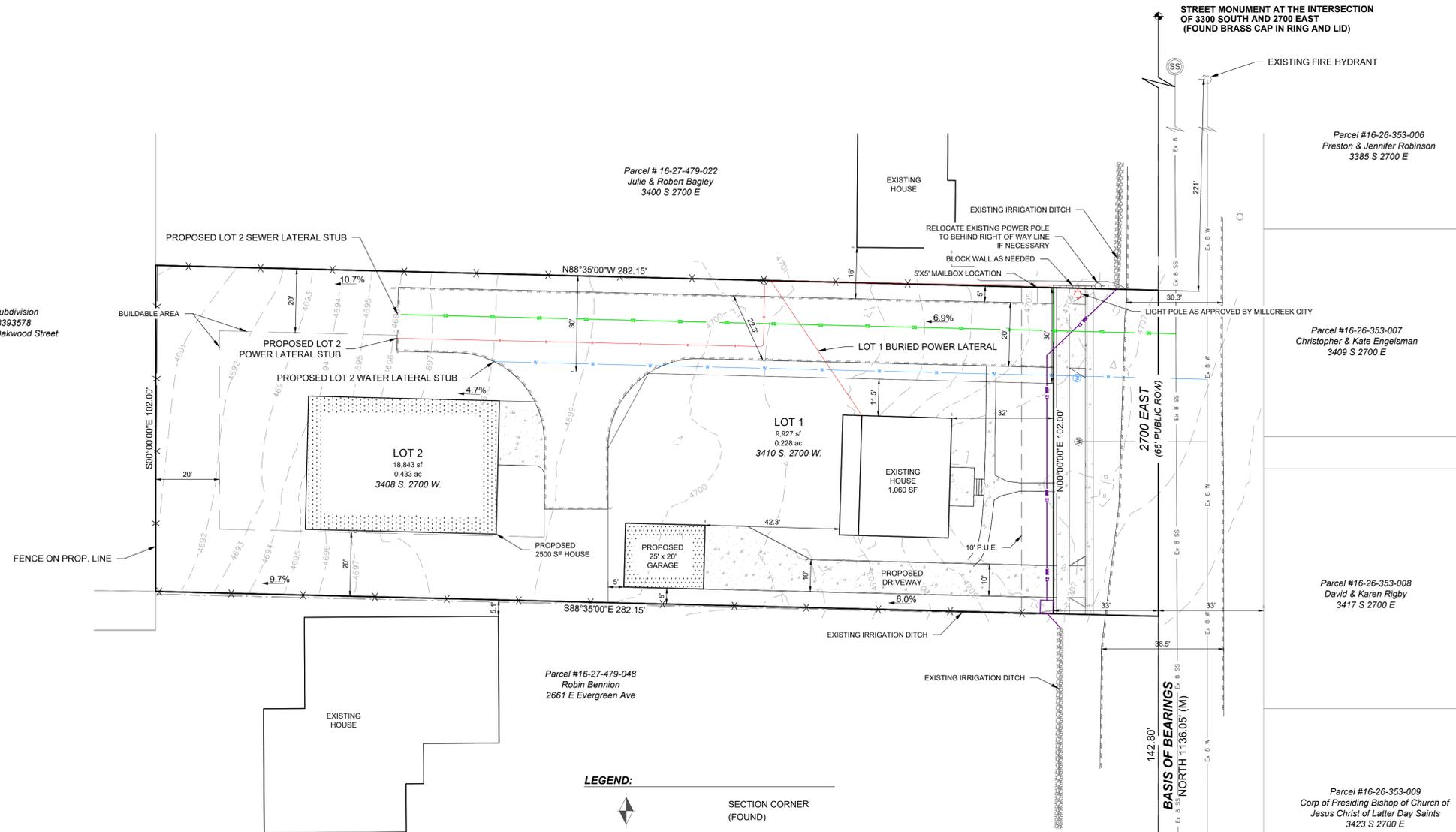
- NOTES:**
1. PRIOR TO ANY WORK BEING DONE IN THE RIGHT-OF-WAY AND EXCAVATION/ENCROACHMENT PERMIT SHALL BE OBTAINED AT [HTTPS://MILLCREEK.US/436/PUBLIC-WORKS-PERMITS](https://millcreek.us/436/PUBLIC-WORKS-PERMITS). CONTACT KALIE BOSKA AT KBOSKA@MILLCREEK.US WITH QUESTIONS.
 2. PRIOR TO ANY WORK BEING DONE A LAND DISTURBANCE/GRADING PERMIT SHALL BE OBTAINED AT [HTTPS://US/436/PUBLIC-WORKS-PERMITS](https://us/436/PUBLIC-WORKS-PERMITS). CONTACT AARON ROBERTS AT AROBERTS@MILLCREEK.US WITH QUESTIONS.
 3. ALL RIGHT-OF-WAY IMPROVEMENTS WILL BE COMPLETED PER MILLCREEK AND APWA STANDARDS.



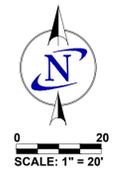
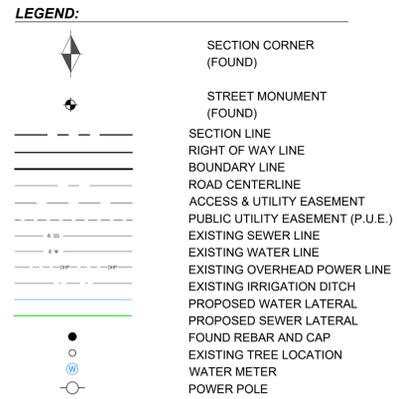
Daniels Subdivision
 Entry #8393578
 3393-3397 S Oakwood Street



Daniels Subdivision
Entry #8393578
3393-3397 S Oakwood Street



- NOTES:**
1. PRIOR TO ANY WORK BEING DONE IN THE RIGHT-OF-WAY AND EXCAVATION/ENCROACHMENT PERMIT SHALL BE OBTAINED AT [HTTPS://MILLCREEK.US/436/PUBLIC-WORKS-PERMITS](https://MILLCREEK.US/436/PUBLIC-WORKS-PERMITS). CONTACT KALIE BOSKA AT KBOSKA@MILLCREEK.US WITH QUESTIONS.
 2. PRIOR TO ANY WORK BEING DONE A LAND DISTURBANCE/GRADING PERMIT SHALL BE OBTAINED AT [HTTPS://US/436/PUBLIC-WORKS-PERMITS](https://US/436/PUBLIC-WORKS-PERMITS). CONTACT AARON ROBERTS AT AROBERTS@MILLCREEK.US WITH QUESTIONS.
 3. ALL RIGHT-OF-WAY IMPROVEMENTS WILL BE COMPLETED PER MILLCREEK AND APWA STANDARDS.



BAGLEY SUBDIVISION - 3410 S 2700 E

SITE PLAN

CONSTRUCTION DRAWINGS

REVISIONS	DESCRIPTION	DATE

DESIGN CHECK:

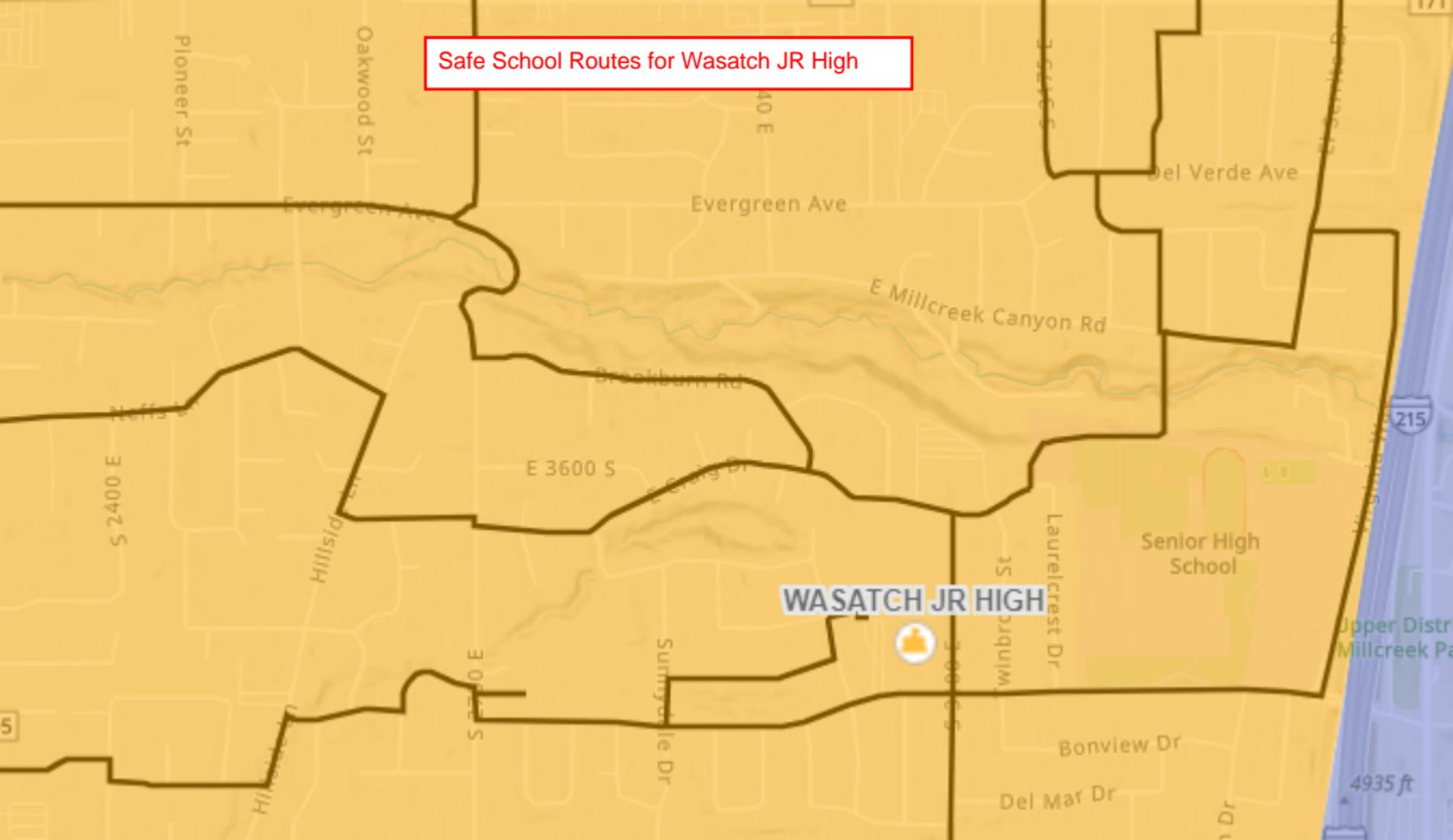
DRAFTING CHECK:

DAVID A. REDDISH
04-03-20
STATE OF UTAH

SHEET: **SP1**

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Safe School Routes for Wasatch JR High





February 8, 2025

To: Millcreek Planning and Zoning
Millcreek Planning Commission

Subject: EX-24-003 Application for Sidewalk, Curb, and Gutter Exception/Deferral at 3410 S 2700 E

At the February 6, 2025, meeting of the East Mill Creek Community Council (EMCCC), planner Carlos Estudillo presented application EX-24-003, applicant Colin Bagley's request for a Sidewalk, Curb, and Gutter Exception/Deferral at 3410 S 2700 E. Mr. Estudillo provided the nature of the request and synopsis, planning staff findings and recommendation, Public Works Director recommendation, and supporting documents. (See 2/6/2025 Community Council Staff Memo for details.) Applicant Bagley also spoke to the request.

The following considerations were discussed by the council:

- ~A request to complete the missing sidewalk segments for the east side of 2700 E has been on EMCCC's CIP request list since 2019. Accommodation of this EMCCC request would in significant measure contribute to addressing the pedestrian safety issues cited in staff findings.
- ~The west side of 2700 East has ditches that complicate the sidewalk construction.
- ~A sidewalk in front of this single parcel this would render it the only one on the west side between 3300 S and Evergreen Ave. Given the distance from the edge of the current roadway to a sidewalk meeting Millcreek's Minor Collector roadway standards, pedestrians would likely not use it and, insofar as they did, would have to step off of it and back onto the side of the roadway, itself a safety concern.
- ~The general consensus was that, with respect to pedestrian safety at least, it would better serve the interest of the district to address the east side of 2700 E where some sidewalk already exists.

In light of these and other considerations, the EMCCC was of the opinion that the applicant has met the **Aesthetic and Exceptional Conditions or Circumstances** requirements for an exception to the required improvements. Accordingly, a motion was made, seconded, and passed unanimously to forward a positive recommendation on the application to the Planning Commission.

/s/

Jamie Allyn
Vice Chair | Land Use, EMCCC

CC: Carlos Estudillo
Francis Lilly
EMCCC